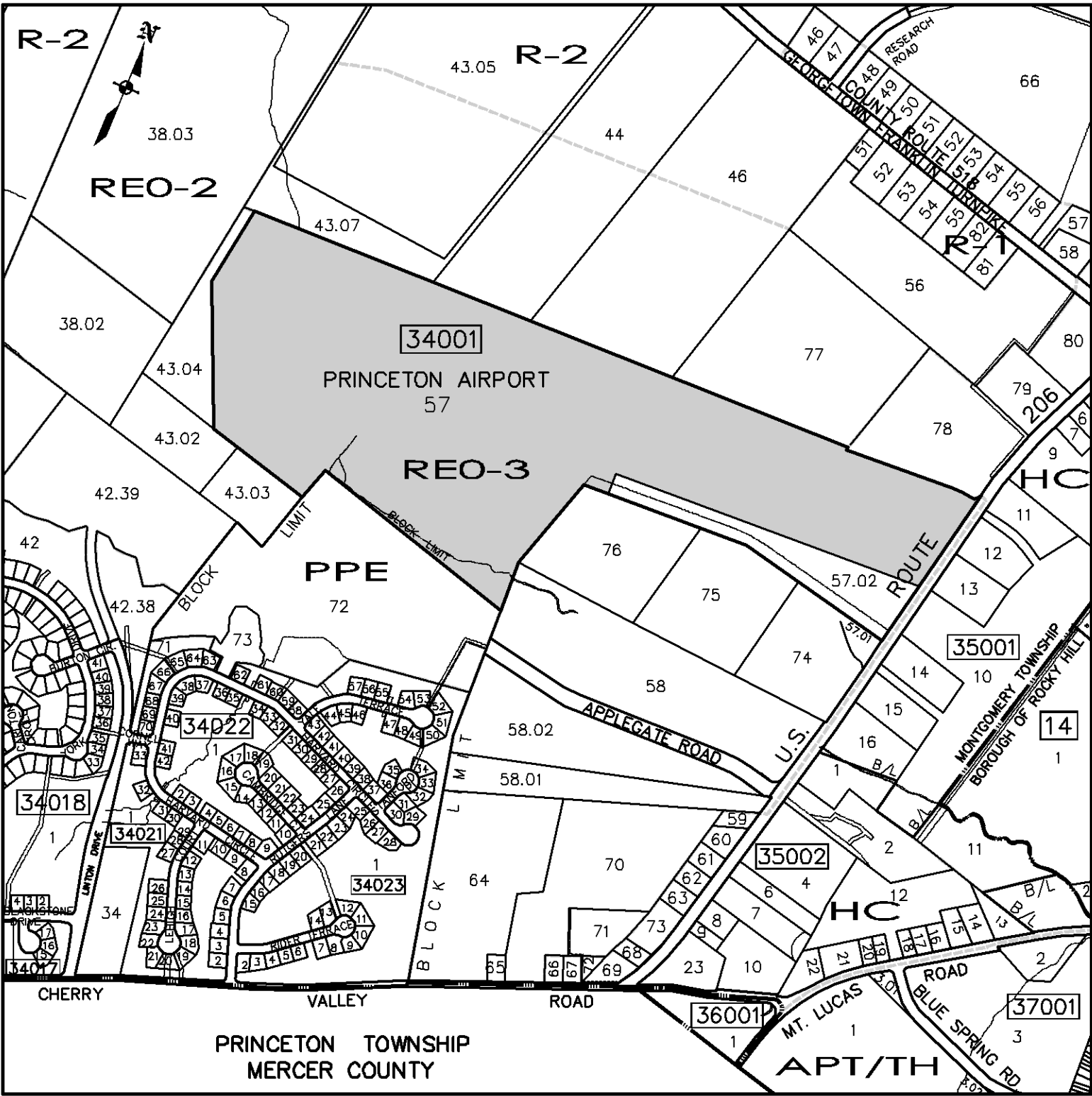


AMENDED PRELIMINARY, FINAL SITE PLAN WITH PHASING & CONSTRUCTION PLANS

PREPARED FOR
LOT 57 IN BLOCK 34001
Princeton Aero Corporation
SITUATED IN THE
TOWNSHIP OF MONTGOMERY
SOMERSET COUNTY, NEW JERSEY

RESOLUTION NOTES PB-03-04 (FROM PHASE I):

1. ANY LANDSCAPING REQUIRED AS PART OF THE APPROVED SITE PLAN SHALL BE MAINTAINED IN ACCORDANCE WITH THE SITE PLAN BY THE OWNER OF THE PROPERTY. ANY LANDSCAPING THAT DIES SHALL BE REPLACED WITHIN THE NEXT PLANTING SEASON BY LANDSCAPING IN ACCORDANCE WITH THAT REQUIRED BY THE SITE PLAN AND OF A SIZE THAT WILL FIT IN THE SIZE OF THE OTHER LANDSCAPING.
2. APPLICANT SUBMITTED A LETTER TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION REQUESTING THAT ALL FUTURE CORRESPONDENCE RELATING TO AIRPORT DEVELOPMENT OR OPERATION BE PROVIDED TO THE TOWNSHIP. THE APPLICANT SHALL MAINTAIN THE VALIDITY OF THAT LETTER AND SHALL TAKE ALL RESPONSIBLE STEPS REQUIRED TO EFFECTUATE THE PROVISION OF ALL CORRESPONDENCE BETWEEN THE APPLICANT AND THE NEW JERSEY DEPARTMENT OF TRANSPORTATION OR ITS SUCCESSOR. THE SAME REQUIREMENT SHALL APPLY TO CORRESPONDENCE BETWEEN APPLICANT AND FEDERAL AVIATION ADMINISTRATION RELATING TO AIRPORT DEVELOPMENT OR OPERATION.
3. THE CAR RENTAL BUSINESS IS FOUND TO BE A BONA FIDE ACCESSORY USE TO AN AIRPORT PROVIDED DETERMINATION IS BASED ON AN AGREED UPON LIMITATIONS OF FOUR (4) EMPLOYEES ON-SITE AT ANY ONE TIME AND 26 PARKING SPACES FOR EMPLOYEES, CUSTOMERS AND RENTAL CARS AND THE REQUIREMENT THAT THE EMPLOYEES USE THOSE ALLOCATED SPACES. IT IS A SPECIFIC CONDITION OF THE APPROVAL THAT THERE SHALL BE NO MAINTENANCE OR REPAIR OF AUTOMOBILES ON-SITE (EXCEPT TIRE CHANGES AND CAR VACUUMING), INCLUDING OIL CHANGES, AND CAR WASHING, SINCE THE AREA WILL BE DIRECTLY ABUTTING A WETLAND BUFFER AREA. ALL MAINTENANCE, REPAIRS AND CAR WASHING SHALL BE DONE OFF-SITE. THE SIZE AND SCOPE OF THE RENTAL CAR BUSINESS AS AN ACCESSORY USE TO THE AIRPORT SHALL NOT EXCEED THE LIMITATIONS SPECIFIED HEREIN. THE RENTAL OF CARS SHALL BE CONSTRUED TO INCLUDE SPORT UTILITY VEHICLES AND MINI-VANS, BUT SHALL NOT REGULARLY INCLUDE TRUCKS.
4. THERE SHALL BE A DEED RESTRICTION, WITH METES AND BOUNDS DESCRIPTION SHOWN ON THE PLANS, APPLICABLE TO ALL RAIN GARDENS IN EACH PHASE SHOWN ON THE PLAN THAT REQUIRES THE PROPERTY OWNER TO MAINTAIN THE RAIN GARDENS IN CONFORMANCE WITH THE BEST MANAGEMENT PRACTICES. THE BEST MANAGEMENT PRACTICES SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD'S LANDSCAPE ARCHITECT AND PLANNING BOARD ENGINEER. THE METES AND BOUNDS DESCRIPTION AND THE DEED RESTRICTION LANGUAGE FOR THE RAIN GARDENS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING BOARD ENGINEER AND TOWNSHIP ATTORNEY. THE RESTRICTION SHALL BE RECORDED BEFORE ISSUANCE OF ANY CERTIFICATE FOR PHASE I AND A COPY OF THE RECORDED RESTRICTION SHALL BE PROVIDED TO THE TOWNSHIP ATTORNEY AND TO THE TOWNSHIP PLANNING DEPARTMENT.
5. AS AGREED, NO INVASIVE PLANTINGS SHALL BE USED AND THE LANDSCAPING PLAN SHALL BE SO MODIFIED. ALL PLANTINGS AND LANDSCAPING, INCLUDING REPLACEMENT PLANTINGS, ARE SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD'S LANDSCAPE ARCHITECT AS TO PLACEMENT AND MATERIALS USED. ALL LANDSCAPING ALONG ROUTE 206 SHALL BE INSTALLED IN PHASE II PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR THAT PHASE.
6. PRIOR TO ANY DISTURBANCE ON THE SITE, CONSTRUCTION FENCING IS TO BE PROVIDED TO DELINEATE THE WETLANDS BUFFER AREA.
7. ALL DOCUMENTS AND CORRESPONDENCE RELATED TO THE APPROVAL PROCESS FOR THE AIRPORT LAYOUT PLAN OR THE SUBDIVISION OF THE PROPERTY BEFORE THE FEDERAL AVIATION ADMINISTRATION AND THE NEW JERSEY DEPARTMENT OF TRANSPORTATION SHALL BE COPIED TO THE TOWNSHIP OF MONTGOMERY (ATTEN: CHERYL CHRUSZ) IN ORDER TO TRACK COMPLIANCE.
8. THIS APPROVAL REPLACES AND SUPERSEDES PRIOR APPROVALS GRANTED TO THE APPLICANT FOR THE AIRPORT PROPERTY.
9. THERE SHALL BE NO FLIGHT SCHOOL USE OF THE HANGAR AT THE WESTERN SIDE OF THE PROPERTY.
10. ANY SIGNAGE OR PAVEMENT MARKINGS REQUIRED AS PART OF THE APPROVED SITE PLAN SHALL BE MAINTAINED BY THE OWNER OF THE PROPERTY IN ACCORDANCE WITH THE APPROVED SITE PLAN. ANY SIGNAGE THAT IS DAMAGED, DEFACED OR DESTROYED SHALL BE REPLACED WITHIN SIXTY (60) DAYS AFTER NOTIFICATION TO THE OWNER BY THE TOWNSHIP. ANY PAVEMENT MARKINGS THAT BECOME FADED SHALL BE REPAINTED WITHIN SIXTY (60) DAYS AFTER NOTIFICATION TO THE OWNER BY THE TOWNSHIP.
11. IN THE EVENT THAT ANY SOIL REMOVAL IS REQUIRED, THE APPLICANT IS PLACED ON NOTICE THAT A PERMIT WILL BE REQUIRED IN ACCORDANCE WITH THE TOWNSHIP ORDINANCE. THE APPLICANT SHALL CONSULT WITH THE PLANNING BOARD ENGINEER BEFORE ANY REMOVAL OF TOPSOIL TO DETERMINE WHETHER THE TOWNSHIP CAN USE THE TOPSOIL AT SOME OTHER LOCATION.
12. THE APPLICANT SHALL POST A PERFORMANCE GUARANTEE, IF REQUIRED FOR PUBLIC IMPROVEMENTS, IN ACCORDANCE WITH THE PROVISIONS OF THE ORDINANCE OF MONTGOMERY TOWNSHIP.
13. THE APPLICANT SHALL OBTAIN FROM ANY OTHER AGENCY, BOARD, COMMITTEE, BUREAU OR COMMISSION, WHICH MAY HAVE JURISDICTION OVER ANY ASPECT OF THE APPLICATION EITHER AN APPROVAL OR A LETTER OF DETERMINATION THAT NO APPROVAL IS REQUIRED. COPIES OF ALL OF THE OTHER APPROVALS OR LETTERS OF DETERMINATION SHALL BE PROVIDED TO THE PLANNING BOARD PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS.
14. UNLESS APPROVED BY MONTGOMERY TOWNSHIP, THERE SHALL BE NO ADDITIONAL LANDS ADDED TO THE AIRPORT WITHOUT PRIOR APPROVAL BY THE TOWNSHIP OF MONTGOMERY.
15. THERE SHALL BE A BINDING DEED RESTRICTION ON THE LOCATION OF ALL NON-FIXED WING AIRCRAFT ON THE GROUND, INCLUDING HELICOPTERS AND THE HOVERING AND OTHER OPERATIONS AND ACTIVITIES OF THE NON-FIXED WING AIRCRAFT, SO THAT THOSE ACTIVITIES SHALL NOT BE ALLOWED IN THE AREA DESIGNATED ON THE PLAN. THE RESTRICTED AREA IS SHOWN ON THE APPROVED SITE PLAN AND AS DESCRIBED IN A MEETS AND BOUNDS DESCRIPTION FILED WITH THE PLANNING BOARD. THE SPECIFIC LANGUAGE OF THE RESTRICTION SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP ATTORNEY. THE RESTRICTION SHALL BE SUBMITTED FOR RECORDING BEFORE THE ISSUANCE OF ANY BUILDING PERMIT AND A COPY OF THE RECORDED RESTRICTION SHALL BE PROVIDED TO THE ATTORNEY AND TO THE TOWNSHIP PLANNING DEPARTMENT WITH 60 DAYS.
16. MORE SPECIFICALLY, THE AREA TO THE WEST AND SOUTH OF THE LINE DESIGNATED AS THE DEED RESTRICTED AREA FOR NON-FIXED WINGED AIRCRAFT ON THE APPROVED PLAN SHALL NOT BE USED FOR STORAGE OF NON-FIXED WINGED AIRCRAFT, INCLUDING HELICOPTERS, NOR FOR THE HOVERING AND OTHER OPERATIONS AND ACTIVITIES OF THE NON-FIXED WINGED AIRCRAFT, PROVIDED THAT THE USE OF THE RUNWAY AND THE AREA DIRECTLY WEST OF THE RUNWAY SPECIFICALLY AND ONLY FOR THE OVERFLIGHTS DURING TAKEOFF AND LANDING OF THE NON-FIXED WING AIRCRAFT SHALL BE PERMITTED. THIS RESTRICTION SHALL BE EFFECTIVE IMMEDIATELY AND SHALL BE A PERMANENT RESTRICTION, AS AGREED TO BE THE APPLICANT AND AS REPRESENTED BY THE APPLICANT ON THE RECORD AT THE PUBLIC HEARINGS ON THIS APPLICATION. THIS PROVISION IS A MODIFICATION OF THE RESTRICTION AGREED UPON AT THE TIME OF THE CONSIDERATION OF THE AUTOMOBILE SALES FACILITY APPLICATION, WHICH INCLUDED A SIMILAR RESTRICTION, BUT WITH TIME LIMITATIONS.
17. MONUMENTS AND SIGNS STATING THAT "NO ROTARY AIRCRAFT PERMITTED BEYOND THIS POINT" SHALL BE INSTALLED ALONG THE RESTRICTION LINE, AS SHOWN ON THE SITE PLANS, WITH THE TWO ADDITIONAL SIGNS TO BE ADDED AS REQUIRED BY THE PLANNING BOARD PLANNER, TO CLEARLY INDICATE THIS RESTRICTION PRIOR TO ANY CERTIFICATE OF OCCUPANCY FOR HANGAR 4 IN PHASE I. THE MONUMENTS AND SIGNS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING BOARD ENGINEER.
18. IT IS RECOGNIZED THAT THE SITE PLAN, AIRPORT LAYOUT PLAN AND OPERATIONAL DOCUMENTS MAY REQUIRE MODIFICATION OF THE SETTLEMENT AGREEMENT BETWEEN PRINCETON AERO CORPORATION AND MONTGOMERY TOWNSHIP.
19. THE PLANNING BOARD RECOMMENDS THAT THE SETTLEMENT AGREEMENT AND THE APPLICABLE LAND DEVELOPMENT ORDINANCE PROVISIONS SHOULD BE REVISED, AS MAY BE NECESSARY TO REFLECT THE SITE PLAN AS MAY BE APPROVED BY THE PLANNING BOARD IN ACCORDANCE WITH CONDITION "C.5." OF THIS RESOLUTION.
20. IT IS FURTHER RECOMMENDED BY THE PLANNING BOARD THAT ALL TERMS OF THE "SETTLEMENT AGREEMENT" SHOULD BE INCORPORATED INTO THE AIRPORT'S "GENERAL OPERATIONS RULES" WHICH SHALL BE REVIEWED AND APPROVED BY THE TOWNSHIP ATTORNEY.
21. A FOOTPRINT OF DISTURBANCE SHALL BE REQUIRED FOR EACH AREA OF CONSTRUCTION FOR PHASE II.
22. ONCE CONSTRUCTED, THIS IS THE FINAL PLAN FOR DEVELOPMENT AND REPRESENTS A FULL AND COMPLETE BUILD-OUT OF THE AIRPORT PROPERTY.



KEY MAP
SCALE 1" = 300'
MONTGOMERY TOWNSHIP TAX MAP SHEET #61

PREPARED BY
D.S. ENGINEERING, P.C.
ENGINEERS AND DESIGN PROFESSIONALS
P.O. BOX 792
ROCKY HILL, NEW JERSEY, 08553
(908) 359-0989

APRIL 6, 2022
REVISED: JULY 8, 2022

BY: David J. Schmidt
DAVID J. SCHMIDT PROFESSIONAL ENGINEER NJ LIC. No. 39409

INDEX OF SHEETS

1. TITLE SHEET
2. MASTER SITE PLAN
3. MASTER SITE PLAN - 1" = 100'
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5. EXISTING FEATURES PLAN
6. EXISTING FEATURES PLAN - 1" = 100'
7. EXISTING FEATURES PLAN - 1" = 100'
8. SITE PLAN
9. GRADING, DRAINAGE, SOIL EROSION AND SEDIMENT CONTROL PLAN
10. SOIL EROSION AND SEDIMENT CONTROL DETAILS
11. CONSTRUCTION DETAILS
12. SOIL COMPACTION AND MITIGATION PLAN

APPLICANT/OWNER - LOT 57

PRINCETON AERO CORP.
41 AIRPARK ROAD
PRINCETON NJ 08540
(609) 921-3100

TOWNSHIP APPROVALS

APPLICATION NO. PB-03-22
APPROVED BY: _____

CHAIRMAN - PLANNING BOARD _____ DATE _____

SECRETARY - PLANNING BOARD _____ DATE _____

TOWNSHIP ENGINEER _____ DATE _____

RESOLUTION NOTES (FROM PHASE I - CONTINUED)

23. THE SITE PLAN IS VIRTUALLY IDENTICAL TO THE AIRPORT LAYOUT PLAN (ALP) TO BE SUBMITTED TO THE FEDERAL AVIATION ADMINISTRATION (FAA) AND NEW JERSEY DEPARTMENT OF TRANSPORTATION (DOT) WITH THE AIRPORT LAYOUT PLAN ONLY ADDING AVIATION ITEMS REQUIRED FOR AIRPORT LAYOUT PLAN AND THAT ON THE GROUND THE AIRPORT LAYOUT PLAN WILL CONFORM TO THE SITE PLAN. PRIOR TO THE ISSUANCE OF ANY PERMIT FOR PHASE II, THE APPLICANT SHALL SUBMIT TO THE TOWNSHIP A NEW "AIRPORT LAYOUT PLAN" (ALP) CONTAINING THE IDENTICAL INFORMATION THAT IS ON THE APPROVED SITE PLAN AND THE NEW AIRPORT LAYOUT PLAN SHALL BE SUBJECT TO REVIEW BY THE PLANNING BOARD ENGINEER, TOWNSHIP PLANNER AND TOWNSHIP ATTORNEY AND TO THE SUBSEQUENT ACCEPTANCE BY THE TOWNSHIP COMMITTEE. AFTER TOWNSHIP APPROVAL AND PRIOR TO ANY PERMITS ISSUED FOR PHASE II, THE APPLICANT SHALL SUBMIT THE APPROVED AND ACCEPTED AIRPORT LAYOUT PLAN TO THE FEDERAL AVIATION ADMINISTRATION AND NEW JERSEY DEPARTMENT OF TRANSPORTATION FOR THEIR APPROVAL. ONCE APPROVED BY BOTH THE FEDERAL AVIATION ADMINISTRATION AND NEW JERSEY DEPARTMENT OF TRANSPORTATION, THE PREVIOUSLY APPROVED SUBDIVISION CREATING THE TWO (2) SEPARATE LOTS FROM THE 100 ACRE AIRPORT TRACT SHALL BE FILED, AND THEN PHASE II OF THE SUBJECT APPLICATION MAY PROCEED. IF THE FEDERAL AVIATION ADMINISTRATION AND/OR NEW JERSEY DEPARTMENT OF TRANSPORTATION REQUIRE REVISIONS TO THE AIRPORT LAYOUT PLAN, THOSE CHANGES SHALL BE REPORTED TO THE TOWNSHIP PLANNING DEPARTMENT FOR A DETERMINATION AS TO WHETHER THEY AFFECT THE SITE PLAN. IF IT IS DETERMINED THAT THE AIRPORT LAYOUT REVISIONS ARE AFFECTING THE SITE PLAN, THEN THE APPLICANT MUST RETURN TO THE PLANNING BOARD FOR RECONSIDERATION OF PHASE II.
24. PHASE 2 CONSISTS OF THE REMAINDER OF THE IMPROVEMENTS AND ARE TO BE DONE UPON THE GRANTING OF FINAL APPROVAL FOR THE AIRPORT MEDICAL BUILDING AND THE APPROVAL AND THE ACCEPTANCE BY THE FEDERAL AVIATION ADMINISTRATION AND NEW JERSEY DEPARTMENT OF TRANSPORTATION OF THE AIRPORT LAYOUT.
25. THE PRIOR 1999 SITE PLAN APPROVAL GRANTED FOR THE AIRPORT (PB-17-98) SHALL BE NULL AND VOID.
26. NO EXTERIOR LIGHTS SHALL BE MOUNTED ON THE NEW HANGAR BUILDINGS.
27. THERE SHALL BE NO OUTSIDE STORAGE OF MATERIALS, DEBRIS, TRAILERS, CAMPERS OR OTHER EQUIPMENT ON-SITE FOR WHICH PRIOR APPROVAL FROM THE TOWNSHIP HAS NOT BEEN RECEIVED, AND ALL VEHICLES SHALL BE PARKED IN DESIGNATED PARKING AREAS OR INSIDE BUILDINGS.
28. THERE SHALL BE NO STORAGE OR PARKING OF VEHICLES ON THE SITE WHICH ARE USED IN CONJUNCTION WITH THE LIMOUSINE SERVICE.
29. THE GRADING OF ALL NON-PAVED AREAS WITHIN 100 FEET OF THE TRACT BOUNDARY SHALL MEET OR EXCEED THE MINIMUM GRADE OF 1½% AND SHALL NOT RESULT IN THE PONDING OF SURFACE WATER IN THIS AREA.
30. THE USE OF THE OFFICES SHALL BE RESTRICTED TO THE AIRPORT USE AND NOT TO TENANTS, EXCEPT FOR THE CAR RENTAL BUSINESS.
31. IF THE APPLICANT INTENDS TO OPERATE A RESTAURANT WITHIN THE AIRPORT, IT MUST SEEK SITE APPROVAL FROM THE PLANNING BOARD.

SOMERSET COUNTY
ACCEPTANCE STAMP

THESE PLANS ARE NOT ACCEPTED FOR
CONSTRUCTION UNLESS THIS BLOCK IS
STAMPED "ACCEPTED AS SUBMITTED" BY A
STAFF MEMBER OF THE SOMERSET COUNTY
ENGINEERING DIVISION
BIDS FOR CONSTRUCTION SHOULD NOT BE
BASED ON THESE PLANS UNTIL THE
PLANS ARE ACCEPTED BY THE COUNTY
ACCEPTANCE OF THESE PLANS EXPIRES
TWO (2) YEARS FROM THE STAMPED DATE.

PROPOSED VARIANCE - FOR THE PRINCETON AIRPORT APPLICATION - P-03-04

A VARIANCE IS REQUESTED FROM MONTGOMERY TOWNSHIP LAND DEVELOPMENT ORDINANCE SECTION 16-5.3 b IN REGARDS TO THE HEIGHT OF THE PROPOSED FENCE. THE APPLICANT PLANS ON ERECTING A 4 FOOT HIGH FENCE AS SHOWN ON THE PROPOSED PLANS. THE FAA OR THE TSA MIGHT WARRANT A 6 TO 8 FOOT HIGH FENCE. THE APPLICANT WILL PROVIDE DOCUMENTATION TO THE TOWNSHIP ENGINEERING DEPARTMENT FROM THE FAA AND/OR TSA IF FENCE IS REQUIRED TO BE HIGHER THAN 4 FEET.

PREVIOUSLY GRANTED WAIVERS AND/OR VARIANCES - FOR THE PRINCETON AIRPORT APPLICATION No. P-17-98

1. A VARIANCE WAS GRANTED FOR LOT 77 IN BLOCK 34001 IN REGARDS TO LOT FRONTAGE.

2. THE FOLLOWING IS A LIST OF SUBMISSION WAIVERS FROM SECTION 16-8.4 OF THE TOWNSHIP ORDINANCE AND ARE AS FOLLOWS:

16-8.4(b)12 A SUBMISSION WAIVER WAS GRANTED FOR THE REQUIREMENT TO SHOW THE SPECIES AND LOCATION OF ALL EXISTING TREES OR GROUPS OF TREES HAVING A CALIPER OF SIX INCHES OR MORE.

16-8.4(b)32 THE APPLICANT WAS GRANTED THAT THE TRAFFIC IMPACT STATEMENT BE WAIVED.

16-8.4(c)1 THE APPLICANT WAS GRANTED THAT THE ENVIRONMENTAL IMPACT STATEMENT REPORT BE WAIVED FOR THIS SUBMISSION SINCE A PREVIOUS ENVIRONMENTAL ASSESSMENT REPORT HAS ALREADY BEEN SUBMITTED TO THE TOWNSHIP. C&S ENGINEERS, INC. PREPARED A REPORT ENTITLED "ENVIRONMENTAL ASSESSMENT" DATED AUGUST 1998. THE REPORT HAS BEEN SUBMITTED TO THE TECHNICAL ADVISORY COMMITTEE AS WELL AS THE MONTGOMERY TOWNSHIP COMMUNITY DEVELOPMENT DIRECTOR AND MONTGOMERY TOWNSHIP ENVIRONMENTAL COMMISSION. ADDITIONAL COPIES OF THE ENVIRONMENTAL ASSESSMENT REPORT WILL BE PROVIDED UPON REQUEST.

3. A WAIVER FROM CHAPTER 16-5.2(c) IN REGARDS TO STORM SEWER MATERIAL. THE APPLICANT WAS GRANTED THAT THE REQUIRED REINFORCED CONCRETE PIPE MATERIAL BE REPLACED WITH CORRUGATED METAL PIPE AND/OR HIGH DENSITY POLYETHYLENE (HDPE) PIPE AS SPECIFIED ON THE CONSTRUCTION PLANS. PIPE MATERIAL AND INSTALLATION WILL BE IN ACCORDANCE WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS.

4. A WAIVER FROM CHAPTER 16-5.2(f) IN REGARDS TO FINAL GRADES. THE APPLICANT WAS GRANTED THAT THE MINIMUM GRADE OF 1-1/2% BE REDUCED TO 3/4% IN THE AREAS AROUND THE NEW AIRPORT RUNWAY.

5. A WAIVER FROM CHAPTER 16-5.2(g) IN REGARDS TO DETENTION BASIN DESIGN. THE APPLICANT WAS GRANTED THAT THE DETENTION BASIN LOW FLOW CHANNEL DESIGN MATERIAL BE A GRASS SWALE AT A DESIGN SLOPE OF 0.75% FOR DETENTION BASINS 1, 2 & 4. THE APPLICANT IS REQUESTING THAT THE DETENTION BASIN NO.3 CONCRETE LOW FLOW CHANNEL DESIGN SLOPE BE DECREASED FROM 1.00% TO 0.50%.

AVIATION SIDE RUNWAY & TAXIWAY ACREAGE = 59,000 ACRES
LANDSIDE DEVELOPMENT ACREAGE = 33,799 ACRES
92,799 ACRES

REFERENCE NOTES:

- OUTBOUND BEARINGS AND DISTANCES ARE TAKEN FROM A MAP ENTITLED "MAP OF SURVEY" PREPARED FOR THE PRINCETON AIRPORT BY FISK ASSOCIATES, P.A. DATED SEPTEMBER 6, 2017 LAST REVISED OCTOBER 2, 2018.
- EXISTING CONTOURS, BUILDING LOCATIONS, UTILITY LOCATIONS, AND ELEVATIONS SHOWN ARE TAKEN FROM A MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY BZA/SURVASAT DATED APRIL 23, 2004 FOR THE PRINCETON AIRPORT.
- THE MASTER SITE PLAN IS BASE ON A PLAN ENTITLED "FINAL PLAT PRINCETON AIRPORT" PREPARED BY BZA/SURVASAT DATED LAST JUNE 28, 1999 FILE #3527.
- THE FRESHWATER WETLANDS AND STATE OPEN WATERS BOUNDARY LINE(S) AS SHOWN ARE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION MAP FOR THE PRINCETON AIRPORT BLOCK 34001, LOTS 45, 47 AND 57" PREPARED BY BROKAW DERSO ASSOCIATES, INC. DATED LAST REVISED AUGUST 22, 1994. N.J.D.E.P. PERMIT NUMBER 1813-92-0017.4 ISSUED NOVEMBER 22, 1994.
- THE FRESHWATER WETLANDS BUFFERS AS SHOWN ARE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION MAP FOR THE PRINCETON AIRPORT BLOCK 34001, LOTS 45, 47 AND 57" PREPARED BY BROKAW DERSO ASSOCIATES, INC. N.J.D.E.P. PERMIT NUMBER 1813-92-0017.5 ISSUED APRIL 12, 1995.
- THE PROPOSED RUNWAY LOCATION AND DESIGN ARE TAKEN FROM A SET OF CONSTRUCTION DRAWINGS ENTITLED "RUNWAY 10-28 RELOCATION" PREPARED BY C&S ENGINEERS, INC. DATED MAY 1998.
- COORDINATE SYSTEM IS BASED ON THE NEW JERSEY STATE PLAN GRID SYSTEM (NAD83) AND VERTICAL CONTROL IS BASED ON NAVD88 DATUM.
- ADDITIONAL FRESHWATER WETLANDS AND STATE OPEN WATERS BOUNDARY LINE(S) AS SHOWN ARE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION MAP FOR THE PRINCETON AIRPORT BLOCK 34001, LOT 57" PREPARED BY D.S. ENGINEERING, P.C. DATED FEBRUARY 14, 2014 REVISED DECEMBER 30, 2015. N.J.D.E.P. PERMIT NUMBER 1813-92-0017.6 ISSUED MAY 27, 1999.
- A RECENT NUDEP LETTER OF INTERPRETATION: FOOTPRINT OF DISTURBANCE DETERMINATION WAS OBTAINED IN THE AREA OF THE PROPOSED HANGARS. NUDEP DETERMINED THAT FRESHWATER WETLANDS AND/OR STATE OPEN WATERS ARE NOT PRESENT WITHIN THE THREE PROPOSED AREAS OF DISTURBANCE AS SHOWN ON PLANS ENTITLED "SITE PLAN - WETLAND FOOTPRINT OF DISTURBANCE PREPARED FOR PRINCETON AERO CORPORATION" AS PREPARED BY THIS OFFICE DATED FEBRUARY 14, 2014 REVISED DECEMBER 30, 2015. NUDEP FILE NUMBER 1813-03-0017.1 ISSUED APRIL 6, 2015.

MONUMENTS AND SIGNS STATING "NO ROTARY AIRCRAFT PERMITTED BEYOND THIS POINT" ARE TO BE INSTALLED ALONG ALL TIE-DOWN AREAS AND ON BOTH SIDES OF THE TAXIWAY AND RUNWAY.

PUBLIC UTILITIES

DEPARTMENT OF PUBLIC WORKS
ATTN: ARTHUR VILLANO, SUPERINTENDANT
MONTGOMERY TOWNSHIP MUNICIPAL BLDG.
2261 ROUTE 206
BELLE MEAD, NJ 08502

CENTURY LINK
256 PAUL STREET
BELLEVILLE, NJ 07823
ATTN: BOB O'CONNOR
COMCAST
100 RANDOLPH ROAD
SOMERSET, NJ 08873

NJ AMERICAN WATER CO.
ATTN: DONNA SHORT, GIS SUPERVISOR
1025 LAUREL OAK ROAD
VOORHEES, NJ 08043

PUBLIC SERVICE ELECTRIC & GAS CO.
MANAGER-CORPORATE PROPERTIES
80 PARK PLAZA-T88
NEWARK, NJ 07102

NJ DEPT. OF TRANSPORTATION
1035 PARKWAY AVENUE, CN600
TRENTON, NJ 08625

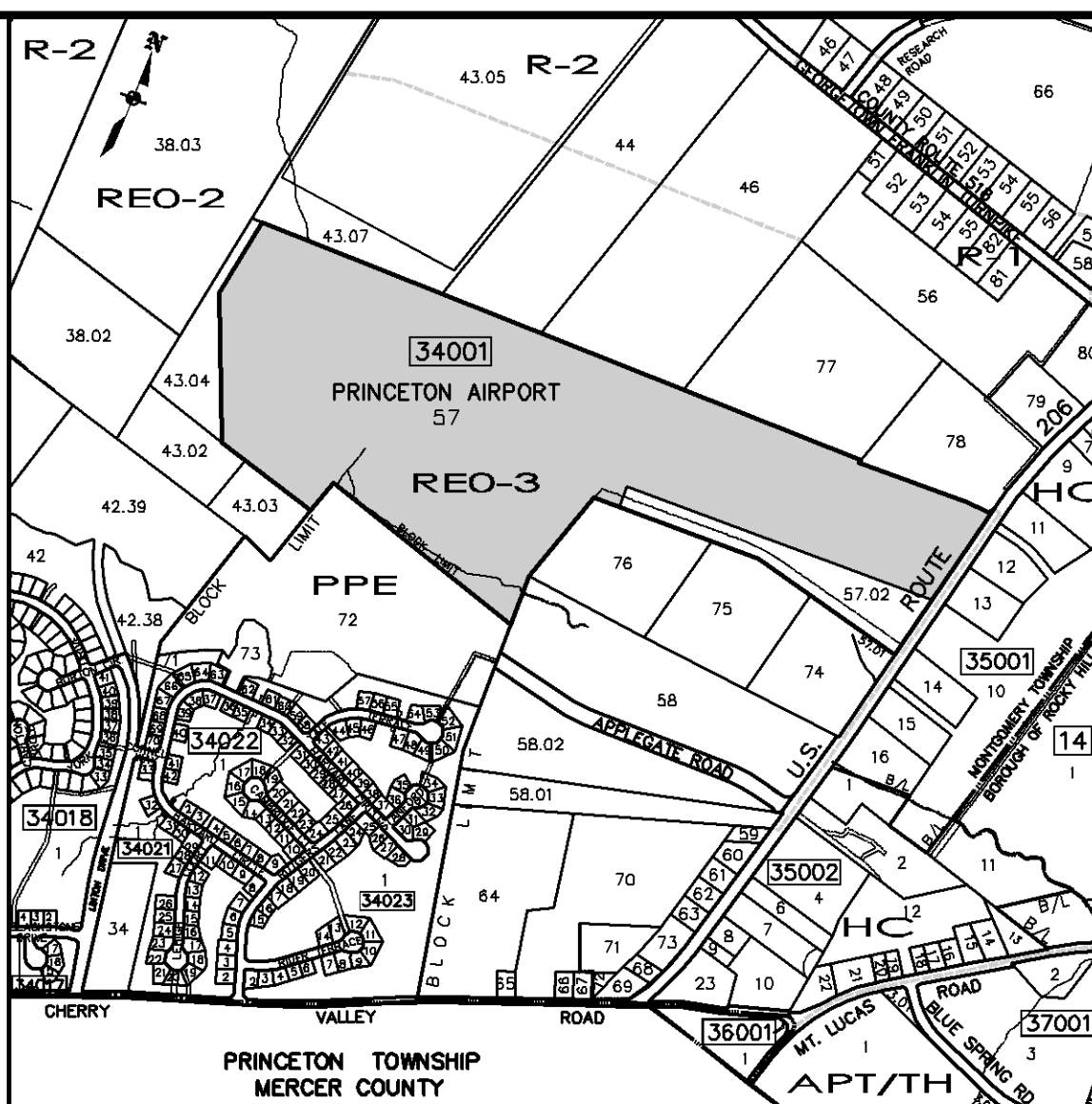
COUNTY OF SOMERSET
SOMERSET PLANNING BOARD
ADMINISTRATIVE BUILDING
PO BOX 3000
SOMERVILLE NJ 08876

MONTGOMERY TOWNSHIP
2261 ROUTE 206
BELLE MEAD, NJ 08502



NOTE: THE BOTTOM EDGE OF THE SIGN SHALL BE 6 INCHES ABOVE THE EXISTING GROUND.

NO ROTARY SIGN "A" DETAIL
NOT TO SCALE



KEY MAP
SCALE 1" = 400'
MONTGOMERY TOWNSHIP TAX MAP SHEET #61

Master Site Plan

Prepared For

Princeton Aero Corporation

Situated In

Montgomery Township

Somerset County ~ New Jersey

DATE: April 6, 2022

SCALE: 1" = 200'

DESIGN BY: D.U.S.

DRAWN BY: J.B.G.

CHECKED BY: D.U.S.

JOB # 04-05-Mont

DATE: 07/08/22

SCALE: 1" = 200'

DESIGN BY: D.U.S.

DRAWN BY: J.B.G.

CHECKED BY: D.U.S.

JOB # 04-05-Mont

DATE: 07/08/22

SCALE: 1" = 200'

DESIGN BY: D.U.S.

DRAWN BY: J.B.G.

CHECKED BY: D.U.S.

JOB # 04-05-Mont

DATE: 07/08/22

SCALE: 1" = 200'

DESIGN BY: D.U.S.

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CHECKED BY: D.U.S.

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DATE: 07/08/22

SCALE: 1" = 200'

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DRAWN BY: J.B.G.

CHECKED BY: D.U.S.

JOB # 04-05-Mont

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SCALE: 1" = 200'

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DRAWN BY: J.B.G.

CHECKED BY: D.U.S.

JOB # 04-05-Mont

DATE: 07/08/22

SCALE: 1" = 200'

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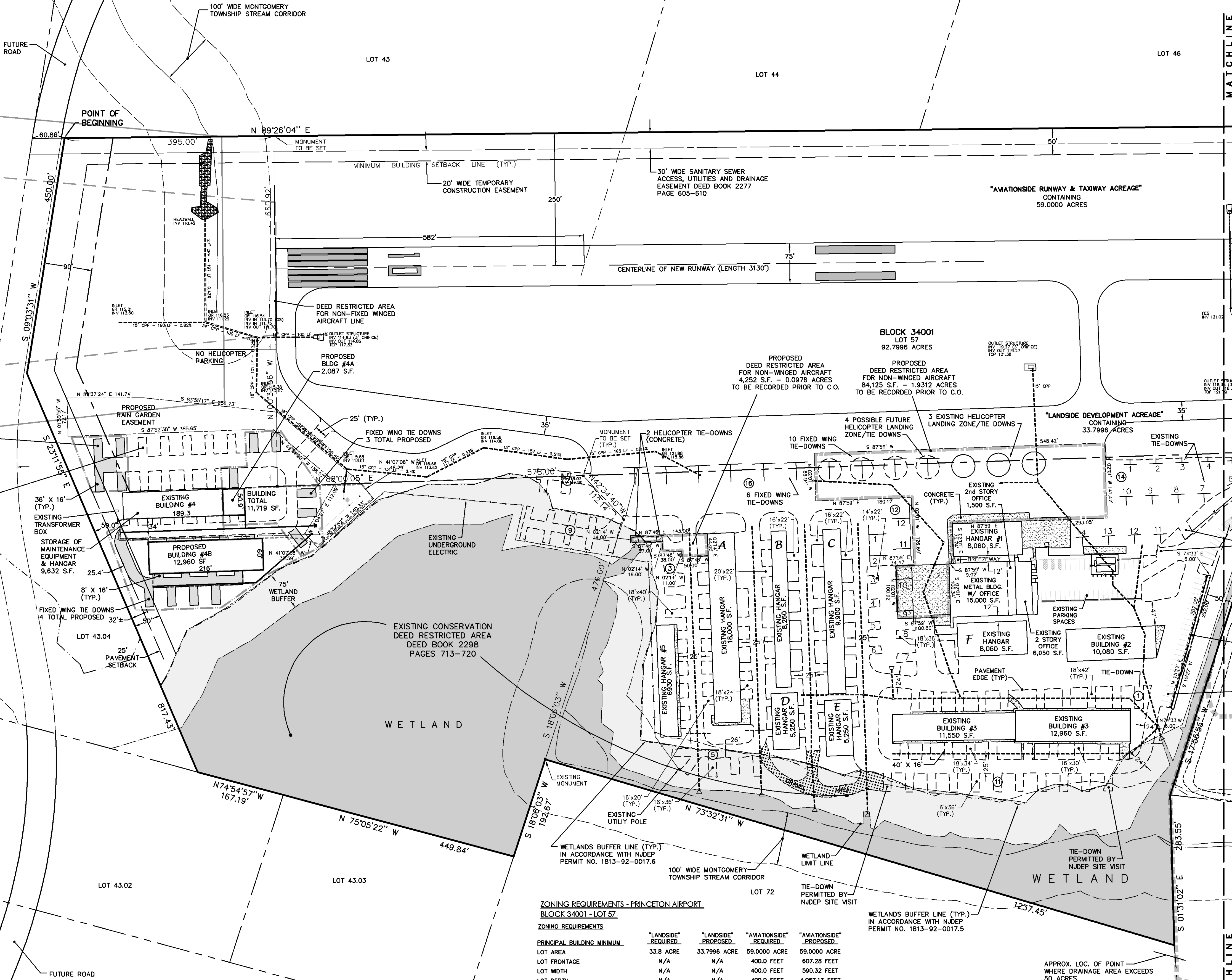
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CHECKED BY: D.U.S.

JOB # 04-05-Mont

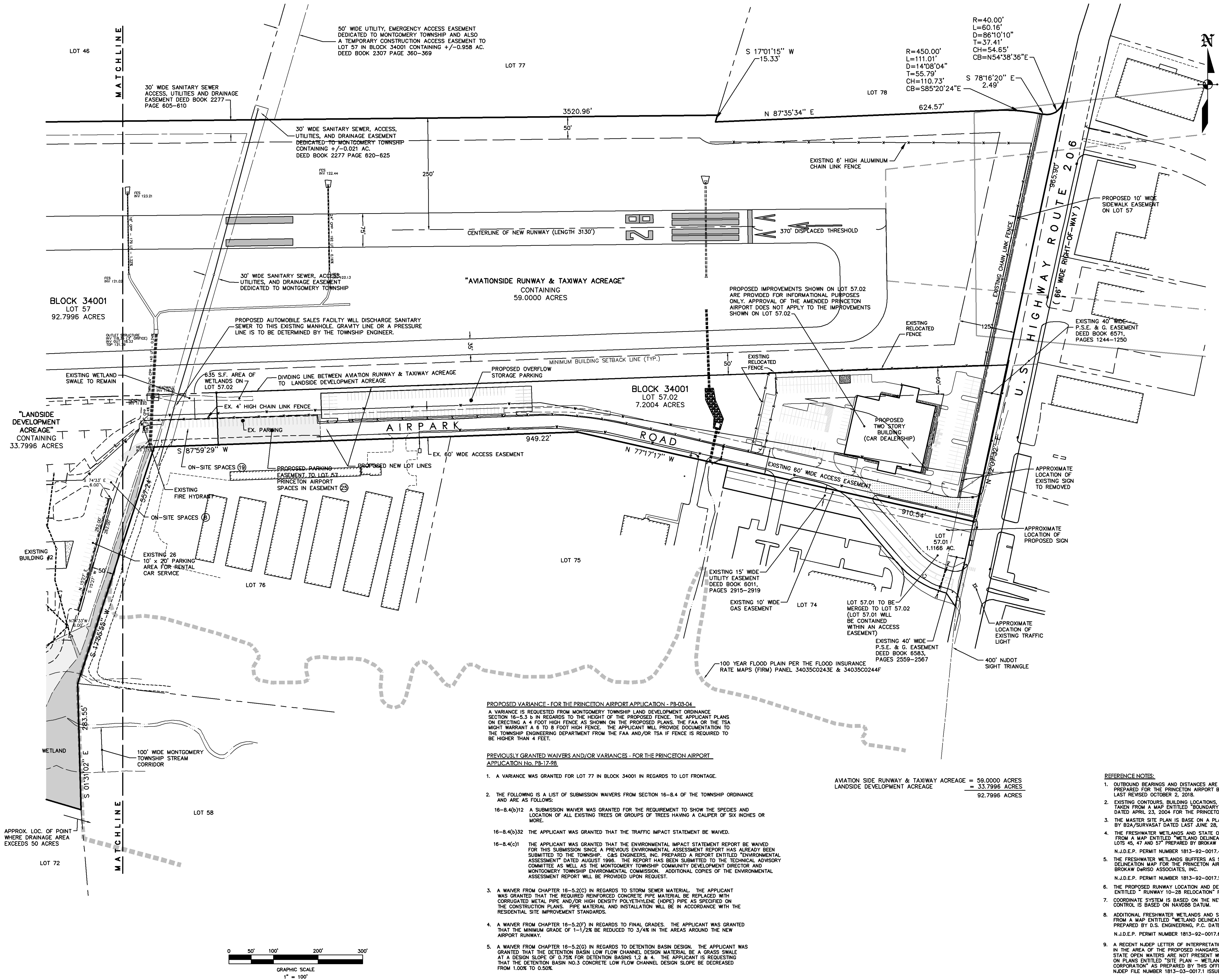
SHEET NUMBER: 2 OF 12

THE COPYING OR REUSE OF THIS DOCUMENT OR PORTIONS THEREOF FOR ANY REASON OTHER THAN THAT SPECIFICALLY AUTHORIZED BY THE PROFESSIONAL ENGINEER OR ARCHITECT IS PROHIBITED. PERMISSION OF D.S. ENGINEERING, P.C. IS REQUIRED.



HANGAR SUMMARY TABLE				
BUILDING NUMBER	DIMENSION	AREA (S.F.)	AIRCRAFT INSIDE	PARKING
PROPOSED HANGAR EXTENSION NUMBER 1	85' x 130'	8,450 S.F.	2	AIRCRAFT
PROPOSED T-HANGAR NUMBER 2	60' x 168'	10,080 S.F.	6	AIRCRAFT
PROPOSED T-HANGAR NUMBER 3	60' x 490'	29,400 S.F.	20	AIRCRAFT
PROPOSED T-HANGAR NUMBER 4	60' x 157'	9,420 S.F.	6	AIRCRAFT
PROPOSED T-HANGAR NUMBER 5	38' x 199'	7,164 S.F.	6	AIRCRAFT
PROP. HELICOPTER HANGAR NUMBER 6	100' x 120'	12,000 S.F.	6	HELICOPTER
	TOTAL	76,514 S.F.	46	AIRCRAFT

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Master Site Plan

Prepared For

Princeton Aero Corporation

Situated In

Montgomery Township
Somerset County ~ New Jersey

REVISIONS	DATE	DATE	DATE
REVISED PER DRC MEMO 6-13-2022	D.J.S.	07/08/22	D.J.S.
DATE: April 6, 2022	SCALE: 1" = 100'	DESIGN BY: D.J.S.	DRAWN BY: J.B.G.
		CHECKED BY: D.J.S.	JOB # 04-05-Mont

D.S. ENGINEERING, P.C.

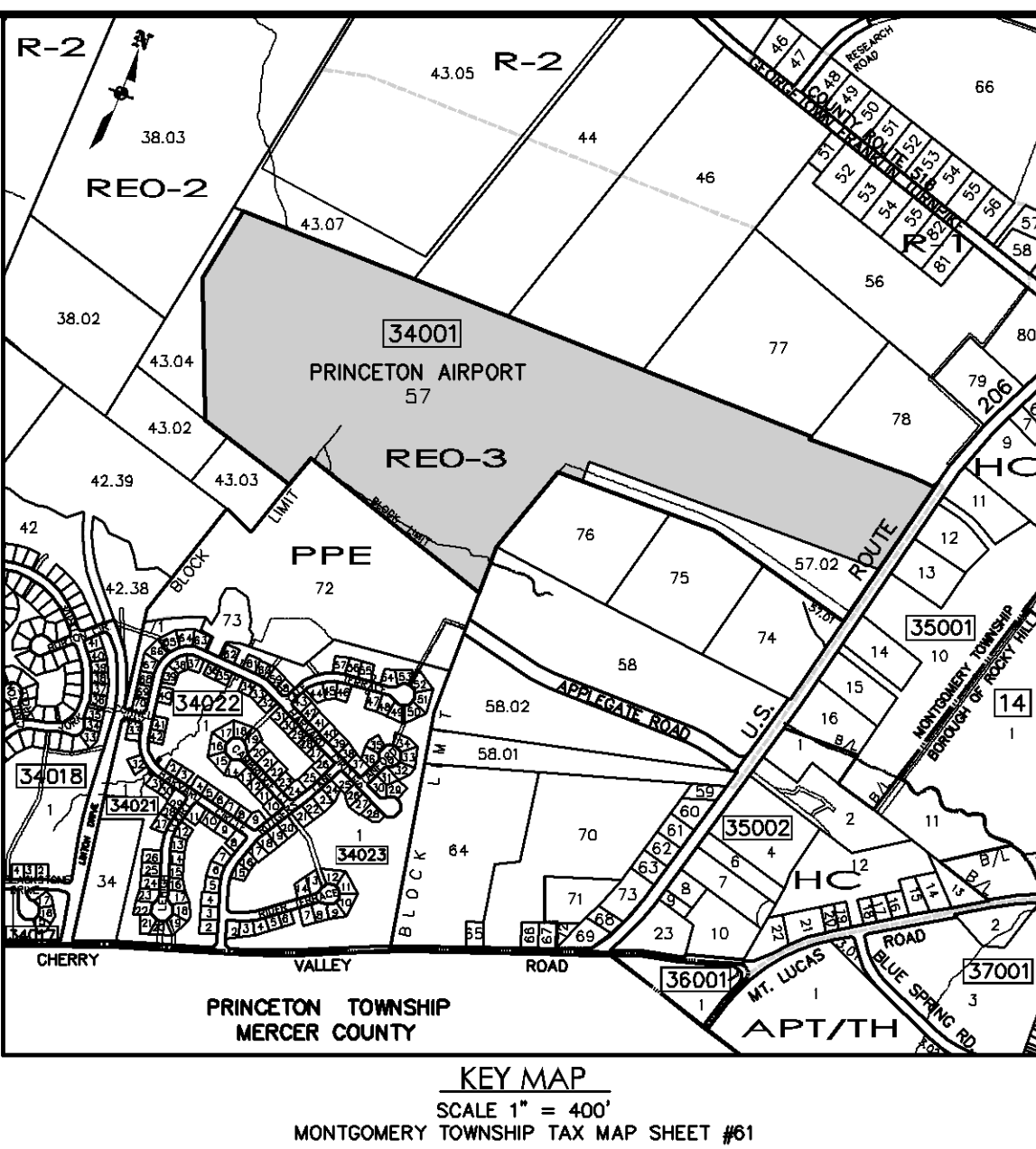
ENGINEERS AND DESIGN PROFESSIONALS

P.O. Box 792

Rocky Hill, New Jersey, 08553

(908)-369-0889 Fax (908)-369-4118

BY: David J. Schmidt Professional Engineer N.J. Lic. No. 39409



Prepared For

Situated In

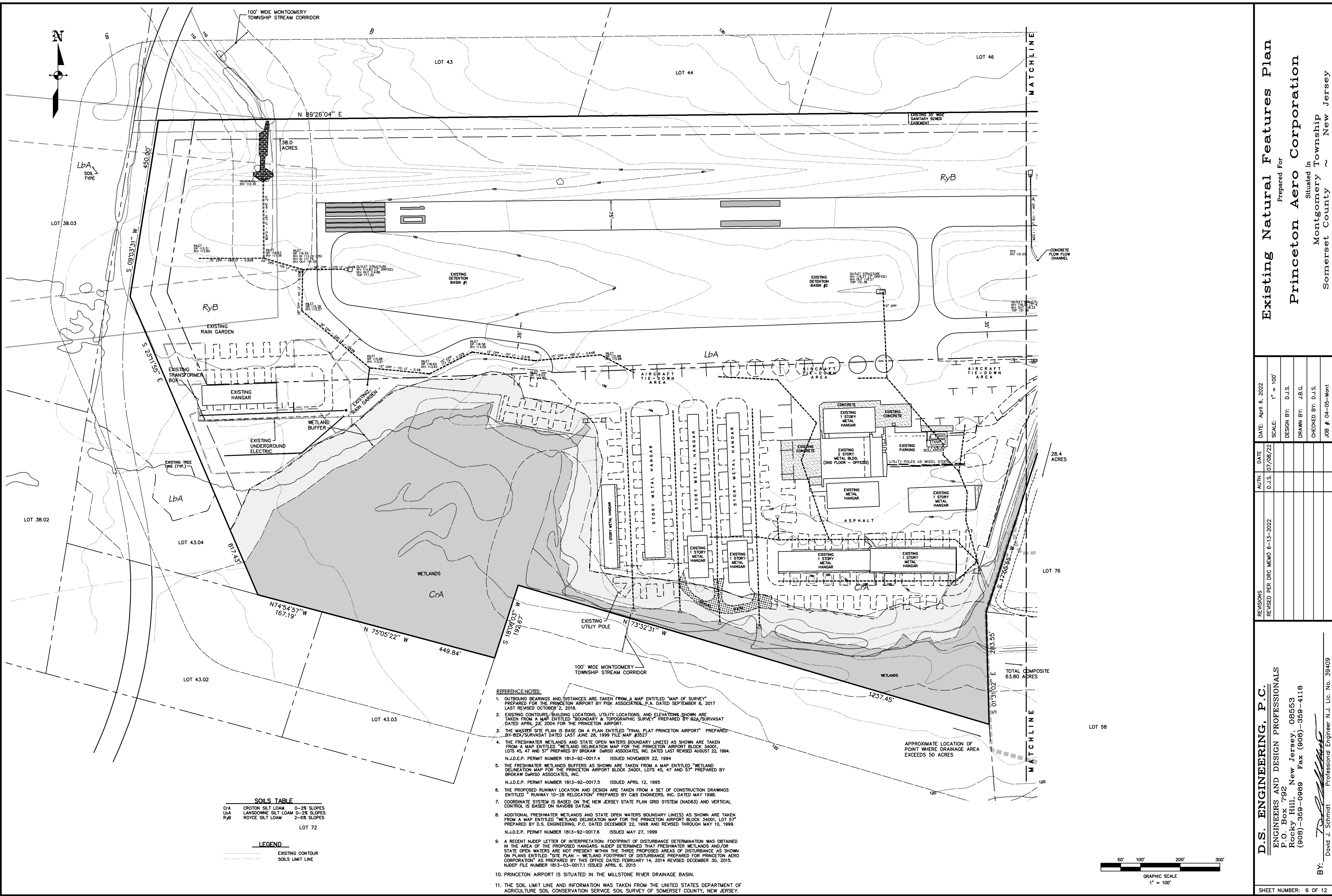
Montgomery Township
Somerset County ~ New Jersey

REVISIONS	AUTH.	DATE	DATE: April 6, 2022
REVISED PER DRC MEMO 6-13-2022	D.J.S.	07/08/22	SCALE: 1" = 200'
			DESIGN BY: D.J.S.
			DRAWN BY: J.B.G.
			CHECKED BY: D.J.S.
			JOB # 04-05-Mont

ENGINEERS AND DESIGN PROFESSIONALS
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BY: David J. Schmidt Professional Engineer N.J. Lic. No. 39409

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Existing Natural Features Plan
Prepared For
Princeton Aero Corporation
Sited in
Montgomery Township
Somerset County ~ New Jersey

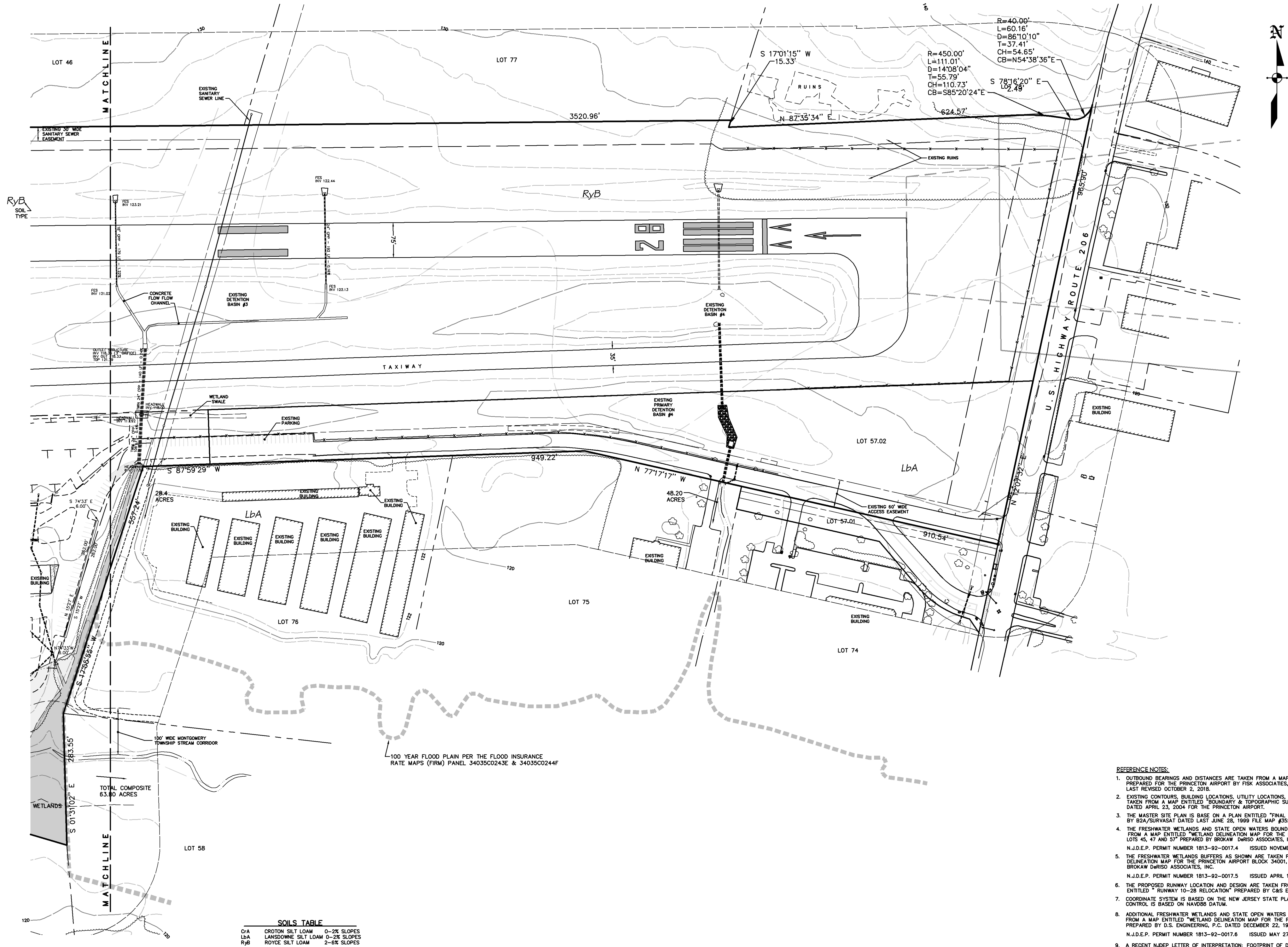
REVISIONS	DATE	DATE	DATE
REVISED PER DRC MEMO 6-13-2022	D.J.S.	07/08/22	

D.S. ENGINEERING, P.C.
ENGINEERS AND DESIGN PROFESSIONALS
P.O. Box 792
Rocky Hill, New Jersey, 08553
(908)-369-0889 Fax (908)-369-4118

BY: *[Signature]* David J. Schmidt Professional Engineer N.J. Lic. No. 39409

SHEET NUMBER: 6 OF 12

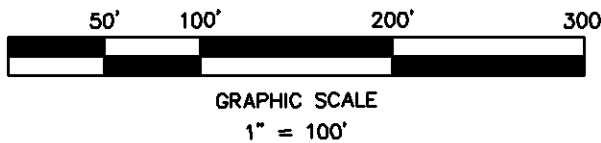
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SOILS TABLE		
C/A	CROTON SILT LOAM	0-2% SLOPES
LbA	LANDOWNE SILT LOAM	0-2% SLOPES
RyB	ROYCE SILT LOAM	2-6% SLOPES

LEGEND

---	EXISTING CONTOUR
---	SOILS LIMIT LINE



REFERENCE NOTES:

1. OUTBOUND BEARINGS AND DISTANCES ARE TAKEN FROM A MAP ENTITLED "MAP OF SURVEY" PREPARED FOR THE PRINCETON AIRPORT BY FISK ASSOCIATES, P.A. DATED SEPTEMBER 6, 2017 LAST REVISED OCTOBER 2, 2018.
2. EXISTING CONTOURS, BUILDING LOCATIONS, UTILITY LOCATIONS, AND ELEVATIONS SHOWN ARE TAKEN FROM A MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY B2A/SURVASAT DATED APRIL 23, 2004 FOR THE PRINCETON AIRPORT.
3. THE MASTER SITE PLAN IS BASE ON A PLAN ENTITLED "FINAL PLAT PRINCETON AIRPORT" PREPARED BY B2A/SURVASAT DATED LAST JUNE 28, 1999 FILE MAP #3527.
4. THE FRESHWATER WETLANDS AND STATE OPEN WATERS BOUNDARY LINE(S) AS SHOWN ARE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION MAP FOR THE PRINCETON AIRPORT BLOCK 34001, LOTS 45, 47 AND 57" PREPARED BY BROKAW D&RISO ASSOCIATES, INC. DATED LAST REVISED AUGUST 22, 1994. N.J.D.E.P. PERMIT NUMBER 1813-92-0017.4 ISSUED NOVEMBER 22, 1994.
5. THE FRESHWATER WETLANDS BUFFERS AS SHOWN ARE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION MAP FOR THE PRINCETON AIRPORT BLOCK 34001, LOTS 45, 47 AND 57" PREPARED BY BROKAW D&RISO ASSOCIATES, INC. N.J.D.E.P. PERMIT NUMBER 1813-92-0017.5 ISSUED APRIL 12, 1995.
6. THE PROPOSED RUNWAY LOCATION AND DESIGN ARE TAKEN FROM A SET OF CONSTRUCTION DRAWINGS ENTITLED "RUNWAY 10-28 RELOCATION" PREPARED BY C&S ENGINEERS, INC. DATED MAY 1998.
7. COORDINATE SYSTEM IS BASED ON THE NEW JERSEY STATE PLAN GRID SYSTEM (NAD83) AND VERTICAL CONTROL IS BASED ON NAVD83 DATUM.
8. ADDITIONAL FRESHWATER WETLANDS AND STATE OPEN WATERS BOUNDARY LINE(S) AS SHOWN ARE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION MAP FOR THE PRINCETON AIRPORT BLOCK 34001, LOT 57" PREPARED BY D.S. ENGINEERING, P.C. DATED DECEMBER 22, 1998 AND REVISED THROUGH MAY 10, 1999. N.J.D.E.P. PERMIT NUMBER 1813-92-0017.6 ISSUED MAY 27, 1999.
9. A RECENT NJDEP LETTER OF INTERPRETATION: FOOTPRINT OF DISTURBANCE DETERMINATION WAS OBTAINED IN THE AREA OF THE PROPOSED HANGARS. NJDEP DETERMINED THAT FRESHWATER WETLANDS AND/OR STATE OPEN WATERS ARE NOT PRESENT WITHIN THE THREE PROPOSED AREAS OF DISTURBANCE AS SHOWN ON PLANS ENTITLED "SITE PLAN - WETLAND FOOTPRINT OF DISTURBANCE PREPARED FOR PRINCETON AERO CORPORATION" AS PREPARED BY THIS OFFICE DATED FEBRUARY 14, 2014 REVISED DECEMBER 30, 2015. NJDEP FILE NUMBER 1813-03-0017.1 ISSUED APRIL 6, 2015.
10. PRINCETON AIRPORT IS SITUATED IN THE MILLSTONE RIVER DRAINAGE BASIN.
11. THE SOIL LIMIT LINE AND INFORMATION WAS TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE SOIL SURVEY OF SOMERSET COUNTY, NEW JERSEY.

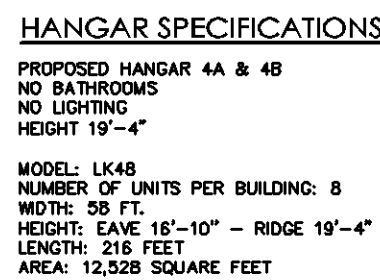
D.S. ENGINEERING, P.C.
ENGINEERS AND DESIGN PROFESSIONALS
P.O. Box 792
Rocky Hill, New Jersey, 08553
(908)-369-0889 Fax (908)-369-4118

BY: David J. Schmidt Professional Engineer N.J. Lic. No. 39409

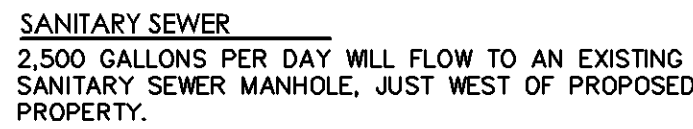
REVISIONS	DATE	DATE	DATE
REVISED PER DRC MEMO 6-13-2022	D.J.S.	07/08/22	

DATE: April 6, 2022	SCALE: 1" = 100'
DESIGN BY: D.J.S.	
DRAWN BY: J.B.G.	
CHECKED BY: D.J.S.	
JOB # 04-05-Mont	

Existing Natural Features Plan
Prepared For
Princeton Aero Corporation
Sited in
Montgomery Township
Somerset County ~ New Jersey



PROPERTY OWNERS WITHIN 200'			
MONTGOMERY TOWNSHIP			
BLK	LOT	OWNER	ADDRESS
34001	86.03	ELDMORE LP, C/O GELLAR & CO.	909 3RD AVE, 15TH FLOOR NEW YORK, NY 10022
43.02		TOWNSHIP OF MONTGOMERY	2281 RTE 206 BELLE MEAD, NJ 08052
43.04		TOWNSHIP OF MONTGOMERY	2281 RTE 206 BELLE MEAD, NJ 08052
43.05		HUEBNER, CHARLES & LUCIA	105 CRUSHER RD HOPENELL, NJ 08525
43.07		TOWNSHIP OF MONTGOMERY	2281 RTE 206 BELLE MEAD, NJ 08052
44		DRAKE FAMILY LLC C/O JOHN DRAKE	889 RT 918 SKILLMAN, NJ 08558
46		DRAKE FAMILY LLC C/O JOHN DRAKE	889 RT 918 SKILLMAN, NJ 08558
57.01		TOWNSHIP OF MONTGOMERY	2281 RTE 206 BELLE MEAD, NJ 08052
58		LARKEN ASSOCIATES	248 HOMETEAD RD HILLSBOROUGH, NJ 08044
58.04		PARLNEY PARTNERSHIP	53 BRIER HILL COURT EAST BRUNSWICK, NJ 08816
72		GH MIND, L.L.C.	194 NASSAU STREET PRINCETON, NJ 08540
75		MARY ANNE B WOODS	163 NASSAU STREET PRINCETON, NJ 08542
76		C/O KELLER DOODS ETC WOOD	124 PLEASANT AVENUE RD NEW YORK, NY 17402
78		REINWOOD FINANCIAL SELF STORAGE LLC	1 YORK PARK PLAZA, 34TH NEW YORK, NY 10004
77		THOMPSON REUTERS PROPERTY TAX	2281 RTE 100A NEW YORK, NY 10004
78		THOMPSON REUTERS PROPERTY TAX	2281 RTE 100A NEW YORK, NY 10004
34023		TOWNSHIP OF MONTGOMERY	2281 RTE 206 BELLE MEAD, NJ 08052
35001		RESEARCH PARK, L.L.C.	194 NASSAU STREET PRINCETON, NJ 08542
	11	ABOF L.L.C.	902 CARNEGIE CTR, STE 40 PRINCETON, NJ 08540
	12	ABOF L.L.C.	902 CARNEGIE CTR, STE 40 PRINCETON, NJ 08540
	13	ABOF L.L.C.	902 CARNEGIE CTR, STE 40 PRINCETON, NJ 08540
	14	ABOF L.L.C.	902 CARNEGIE CTR, STE 40 PRINCETON, NJ 08540
	15	GH MIND, L.L.C.	194 NASSAU STREET PRINCETON, NJ 08542



ALL PROPOSED BUILDINGS WILL NOT EXCEED THE MAXIMUM BUILDING HEIGHT OF 35 FEET AS SPECIFIED IN SECTION 16-4.6c. OF THE MONTGOMERY TOWNSHIP LAND DEVELOPMENT ORDINANCE. ANY BUILDING WHICH IS LOCATED IN THE AIRPORT HAZARD AREA MUST BE CHECKED FOR CONFORMANCE WITH SECTION 16-6.6e. VERTICAL DEVELOPMENT RESTRICTIONS AS OUTLINED IN THE MONTGOMERY TOWNSHIP LAND DEVELOPMENT ORDINANCE.

1. OUTBOUND BEARINGS AND DISTANCES ARE TAKEN FROM A MAP ENTITLED "MAP OF SURVEY" PREPARED FOR THE PRINCETON AIRPORT BY FISK ASSOCIATES, P.A. DATED SEPTEMBER 6, 2017 LOTS 45, 47 AND 57 PREPARED BY BROKAW D&S ASSOCIATES, INC.
2. EXISTING CONTOURS, BUILDING LOCATIONS, UTILITY LOCATIONS, AND ELEVATIONS SHOWN ARE TAKEN FROM A MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY B2A/SURVASA DATED APRIL 23, 2004 FOR THE PRINCETON AIRPORT.
3. THE MASTER SITE PLAN IS BASED ON A PLAN ENTITLED "FINAL PLANNING PRINCETON AIRPORT" PREPARED BY B2A/SURVASA DATED 10 JUNE 28, 2004 MAP #350.
4. THE FRESHWATER WETLANDS AND STATE OPEN WATERS BOUNDARY LINE(S) AS SHOWN ARE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION MAP FOR THE PRINCETON AIRPORT BLOCK 34001, LOTS 45, 47 AND 57" PREPARED BY BROKAW D&S ASSOCIATES, INC. DATED LAST REVISED AUGUST 22, 1994 N.D.E.P. PERMIT NUMBER 1813-92-0017.4 ISSUED NOVEMBER 22, 1994
5. THE FRESHWATER WETLANDS BUFFERS AS SHOWN ARE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION MAP FOR THE PRINCETON AIRPORT BLOCK 34001, LOTS 45, 47 AND 57" PREPARED BY BROKAW D&S ASSOCIATES, INC.

THE PROPOSED RUNWAY LOCATION AND DESIGN ARE TAKEN FROM A SET OF CONSTRUCTION DRAWINGS EXHIBIT 1. THESE DRAWINGS WERE PREPARED BY C&D ENGINEERS, INC. DATED MAY 1998.

2. COORDINATE SYSTEM IS BASED ON THE NEW JERSEY STATE PLAN GRID SYSTEM (NAD83) AND VERTICAL CONTROL IS BASED ON NAVD80 DATUM.

3. ADDITIONAL FRESHWATER WETLANDS AND STATE OPEN WATERS BOUNDARY LINE(S) AS SHOWN ARE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION MAP FOR THE PRINCETON AIRPORT BLOCK 34001, LOT 157" PREPARED BY U.S. ARMY CORPS OF ENGINEERS, DATED FEBRUARY 22, 1998 AND REVISED THROUGH MAY 1999. N.J.D.E.P. PERMIT NUMBER 1913-92-00716. ISSUED MAY 27, 1999

4. A RECENT NJDEP LETTER OF INTERPRETATION: FOOTPRINT OF DISTURBANCE DETERMINATION WAS OBTAINED IN THE AREA OF THE PROPOSED HANGARS. NJDEP DETERMINED THAT FRESHWATER WETLANDS AND/OR STATE OPEN WATERS ARE NOT PRESENT WITHIN THE THREE PROPOSED AREAS OF DISTURBANCE AS SHOWN ON THE MAP ENTITLED "WETLAND DELINEATION MAP FOR THE PRINCETON AIRPORT BLOCK 34001, LOT 157" AS PREPARED BY THIS OFFICE DATED FEBRUARY 14, 2014 REVISED DECEMBER 30, 2015. NJDEP FILE NUMBER 1913-03-00171. ISSUED APRIL 6, 2015

10. PRINCETON AIRPORT IS SITUATED IN THE MILLSTONE RIVER DRAINAGE BASIN.

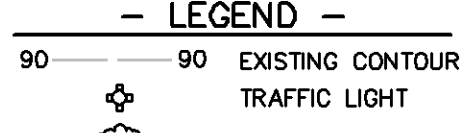
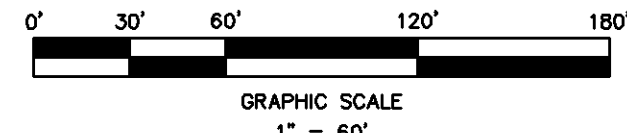
AGRICULTURE SOIL CONSERVATION SERVICE SOIL SURVEY OF SOMERSET COUNTY, NEW JERSEY.

0' 30' 60' 120' 180'

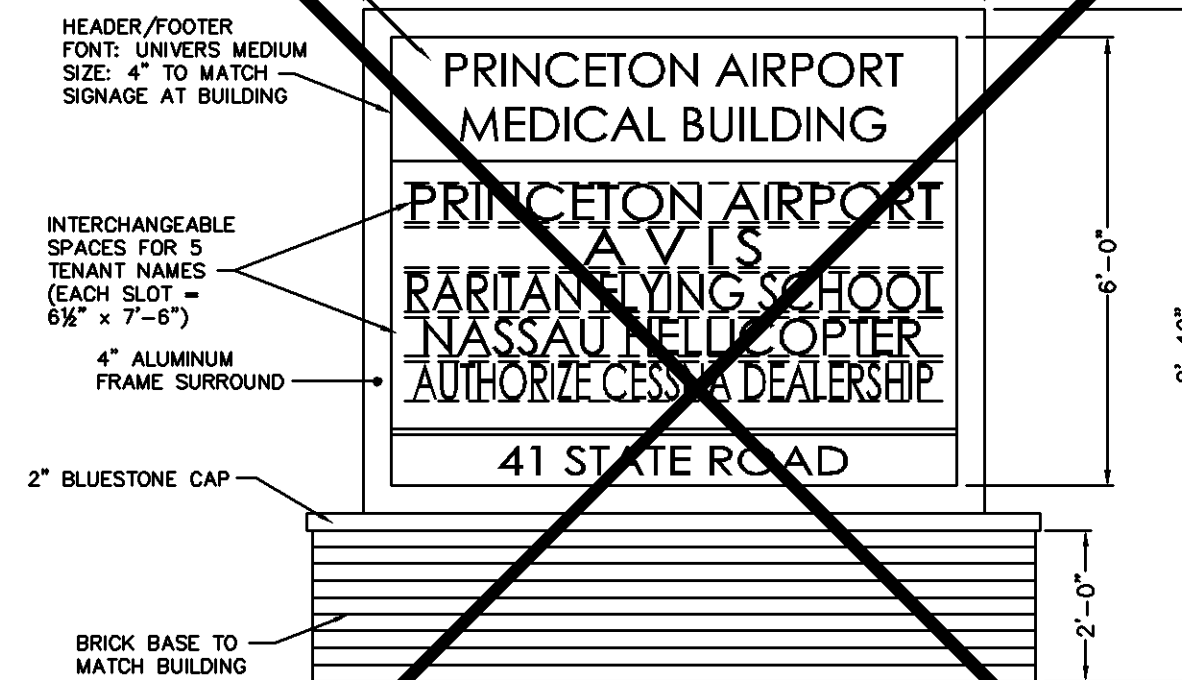
GRAPHIC SCALE

90 90 EXISTING CON

TRAFFIC LIGHT



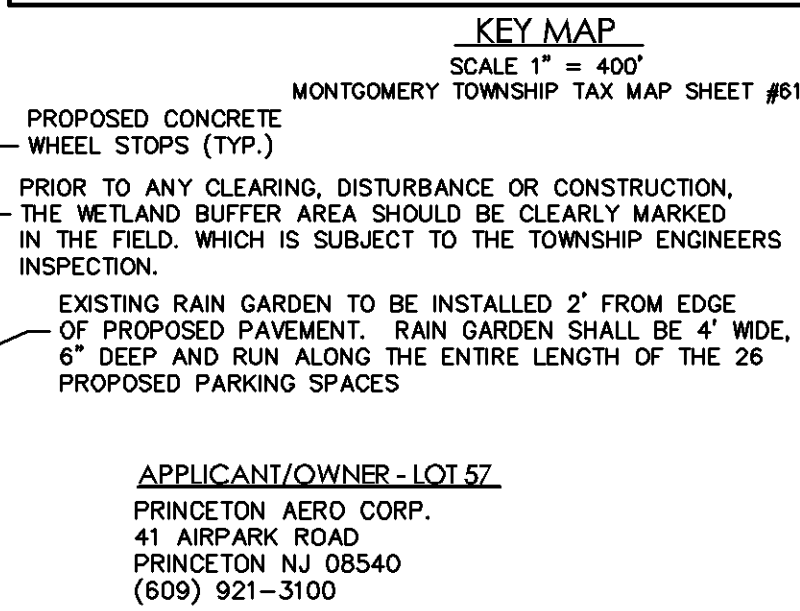
SEE ARCHITECTURAL DRAWINGS FOR -
NEW SIGN DETAIL. THIS SIGN DETAIL
WILL BE UPGRADED IN SUBSEQUENT
REVISIONS TO DRAWINGS



*NOTE: IN "RED ZONE" SIGN MUST BE AT LEAST 50 FT. FROM ALL PROPERTY & STREET LINES.

PRINCETON MEDICAL SIGN DETAIL

INTERNALLY ILLUMINATED



1. CONSTRUCT 2nd STORY OFFICE BUILDING 3,050 S.F.
2. RECONFIGURE AUTOMOBILE PARKING BY OFFICE, INCLUDING HANDICAPPED PARKING AND LANDSCAPING
3. CONSTRUCT BUILDING 4 (9,632 S.F.) AND PAVEMENT AREAS ASSOCIATED WITH BUILDING #4.
4. REMOVE 5 EXISTING TIE-DOWN SPACES TO CREATE 26 RENTAL SPACES.
5. FIVE (5) TIE-DOWN AREAS WILL BE CONSTRUCTED AT THE WESTERLY END OF THE AIRPORT
6. CONSTRUCT TIE-DOWN GARDENS BY BUILDING #4
7. CONSTRUCT SIDEWALK ALONG ROUTE 206 ON LOT 57 WILL COMPLETE IN PHASE II COMPLETED.

1. CONSTRUCT BUILDING 4A (2,087 S.F.) & 4B (12,960 S.F.)
2. COMPLETE REMAINING PAVEMENT AREAS.
3. 13 ADDITIONAL TIE-DOWN AREAS ADDED AT THE WESTERLY END OF AIRPORT
4. CONSTRUCT BIO-RETENTION BASIN.
5. CONSTRUCT SIDEWALK ALONG ROUTE 206 ON LOT 57

EXISTING OFFICE = 4,500 SQ. FT.
PROPOSED OFFICE = 3,050 SQ. FT.
TOTAL 7,550 SQ. FT. 250 = 30.2 ~ 31 PARKING SPACES REQUIRED

1 PARKING SPACE FOR EVERY 1,000 SQUARE FEET OF GROSS FLOOR AREA UTILIZED AS A AIRPORT HANGAR.

EXISTING HANGAR = 89,720 SQ. FT.
PROPOSED HANGAR = 74,250 SQ. FT.
TOTAL 143,970 SQ. FT. 1,000 = 143.97 143.97 ~ 144 PARKING SPACES REQUIRED

TOTAL NUMBER OF PARKING SPACES REQUIRED FOR OFFICES AND HANGAR = 175 PARKING SPACES REQUIRED

NOTE: FOR EVERY INSIDE (WITHIN HANGAR) AIRCRAFT PARKING SPACE, THERE IS PROVIDED 1 CAR PARKING SPACE.

87 OUTSIDE PARKING
51 EX. HANGAR BAYS WHERE AUTOMOBILES MAY BE PARKED.
49 ADDITIONAL HANGAR BAYS WHERE AUTOMOBILES MAY BE PARKED
187 EXISTING AND PROPOSED PARKING PROVIDED

EXISTING AIRCRAFT PARKING TIE DOWNS	<u>83</u>
EXISTING AIRCRAFT PARKING TIE DOWNS TO REMAIN	78
PROPOSED AIRCRAFT PARKING TIE DOWNS	<u>18</u>
	<u>06</u>

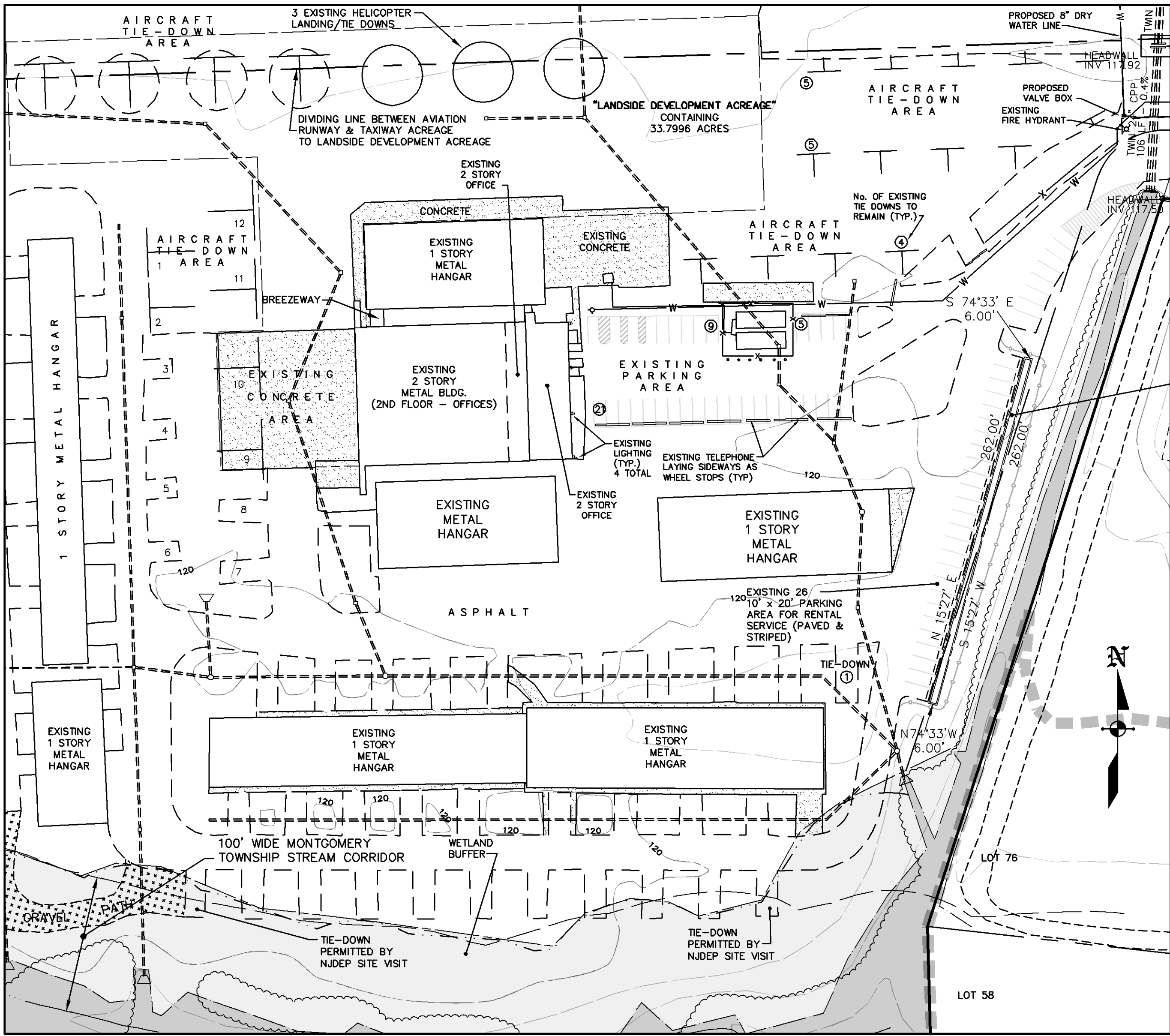
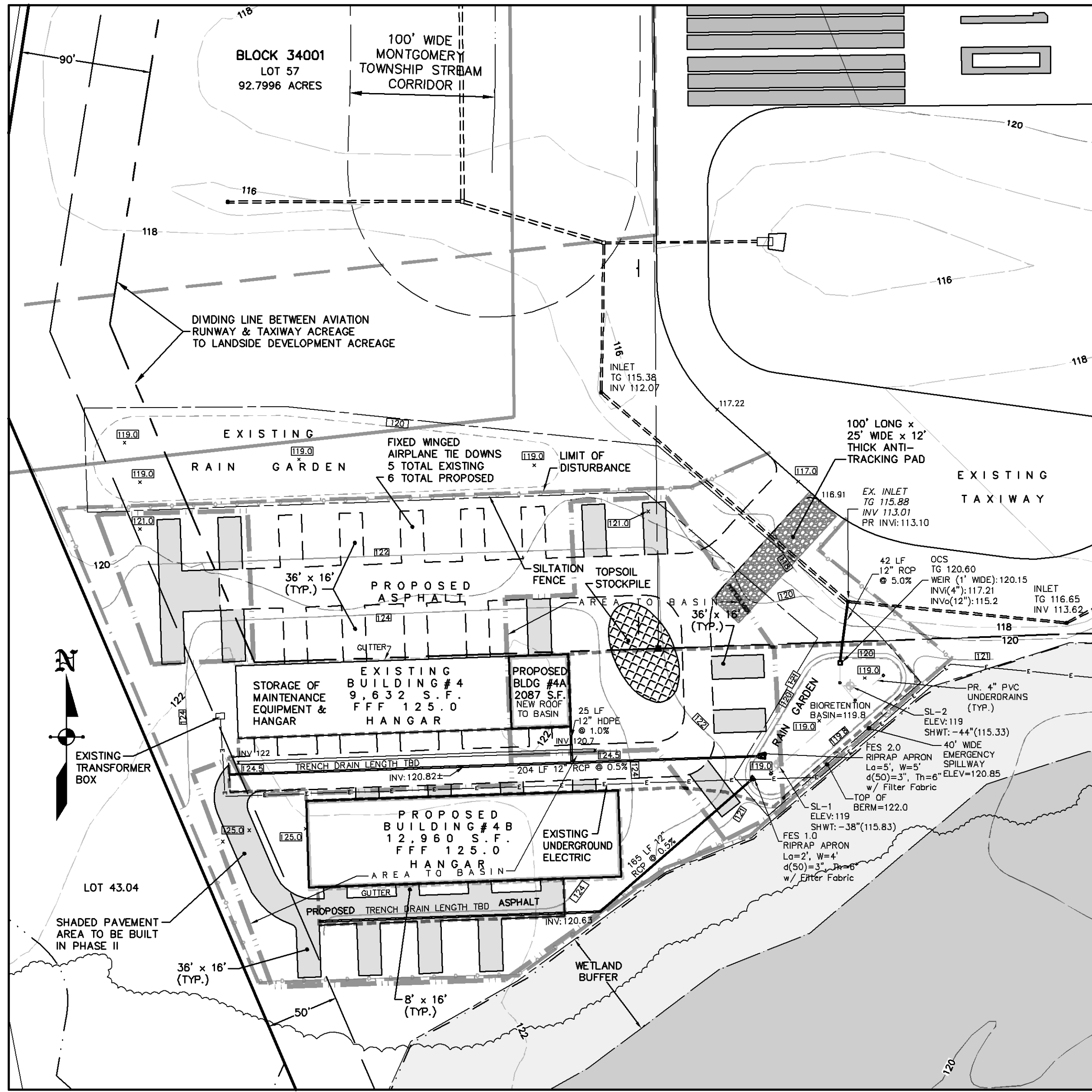
EXISTING HANGARS AND OFFICE FLOOR AREA	69,720 S.F.
RECENTLY BUILT HANGARS	59,212 S.F.
PROPOSED HANGARS	15,047 S.F.
RECENTLY BUILT OFFICE W/ STAIRS	3,050 S.F.
TOTAL	147,029 S.F.

FAR = FLOOR AREA TOTAL / LOT AREA
(147,029/43560) / 33.8 AC. <= 0.0999

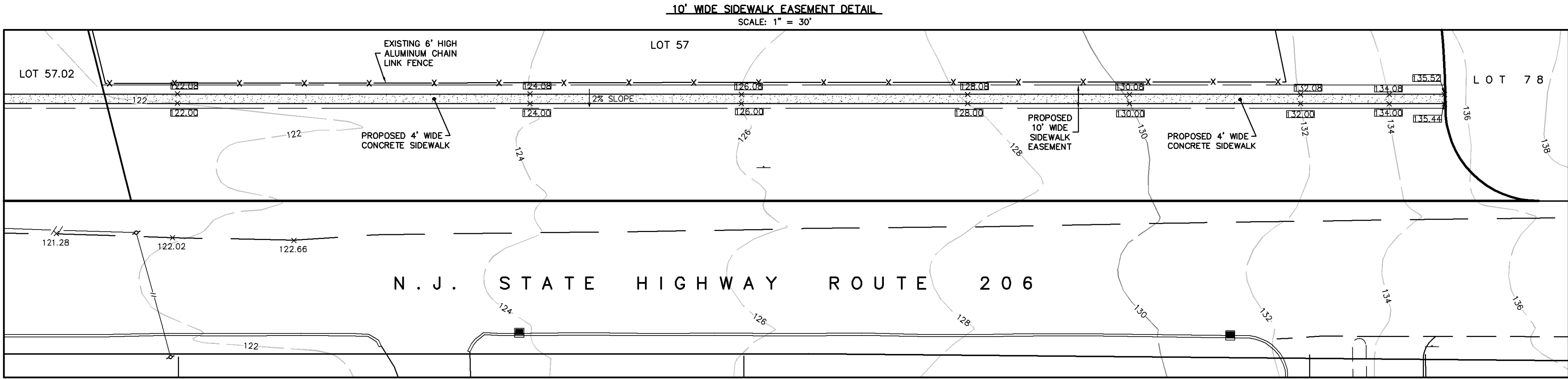
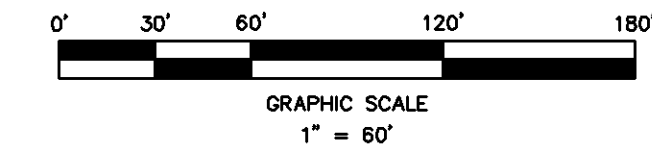
Rocky Hill, New Jersey, 08553
(908)-359-0989 Fax (908)-359-4118
P.O. Box 792
ENGINEERS AND DESIGN PROFESSIONALS

 David J. Schmidt Professional Engineer N.J. Lic. No. 39409

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- LEGEND
- 90 90 EXISTING CONTOUR
 - 90 90 PROPOSED CONTOUR
 - DRAINAGE AREA LIMIT LINE
 - x 100.00 EXISTING SPOT ELEVATION
 - x 100.00 PROPOSED SPOT ELEVATION
 - 37 1.20 CATCH BASIN NUMBER
 - 1.20 DRAINAGE AREA IN ACRES
 - PROTECTED INLET (ALL INLETS)
 - DRAINAGE FLOW DIRECTION
 - LIMITS OF CLEARING AND GRADING
 - TOPSOIL STOCKPILE
 - SILTATION FENCE
 - TRAFFIC LIGHT
 - EXISTING TREE
 - EXISTING UTILITY POLE



CONSTRUCTION NOTES:

1. ALL CONSTRUCTION DETAILS MUST BE IN ACCORDANCE WITH THE LATEST ENGINEERING STANDARDS. IF DISCREPANCIES EXIST, THE MONTGOMERY TOWNSHIP STANDARDS WILL PREVAIL.
2. FOUNDATION LOCATION PLAN IS REQUIRED PRIOR TO CONSTRUCTION OF SUPERSTRUCTURE AND AN AS-BUILT GRADING PLAN IS REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
3. ALL UTILITIES TO BE PLACED UNDERGROUND.
4. CONTRACTOR TO CALL FOR MARKOUT OF EXISTING UTILITIES IN ACCORDANCE WITH STATE LAW.
5. CONTRACTOR IS TO CONDUCT A PROOF ROLL AT LEAST 24 HOURS PRIOR TO PAVING.
6. CONTRACTOR SHALL SUBMIT WRITTEN NOTIFICATION TO THE SOMERSET-UNION SOIL CONSERVATION DISTRICT 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. TELEPHONE NUMBER: (908) 526-2701.

SEQUENCE OF CONSTRUCTION

1. ANTI-TRACKING PAD AND OTHER SOIL EROSION AND SEDIMENT CONTROL DEVICES TO BE INSTALLED.
2. CLEAR AND ROUGH GRADE SITE AND STOCKPILE AND STABILIZE TOPSOIL.
3. INSTALL UNDERGROUND UTILITIES.
4. BEGIN BUILDING FOUNDATION & CONSTRUCT CURBING.
5. CONSTRUCTION ON SITE CLEARING.
6. INSTALL SUBBASE WHERE REQUIRED.
7. EXTERIOR COMPLETION OF BUILDING.
8. FINAL GRADE AND INSTALL LANDSCAPE AND LIGHTING.
9. INSTALL TOP COURSE PAVING.
10. STABILIZE ALL LAWN AREAS.
11. REMOVE SEDIMENT CONTROL DEVICES.

ESTIMATED DURATION OF PROJECT: 1 YEAR

PHASE I

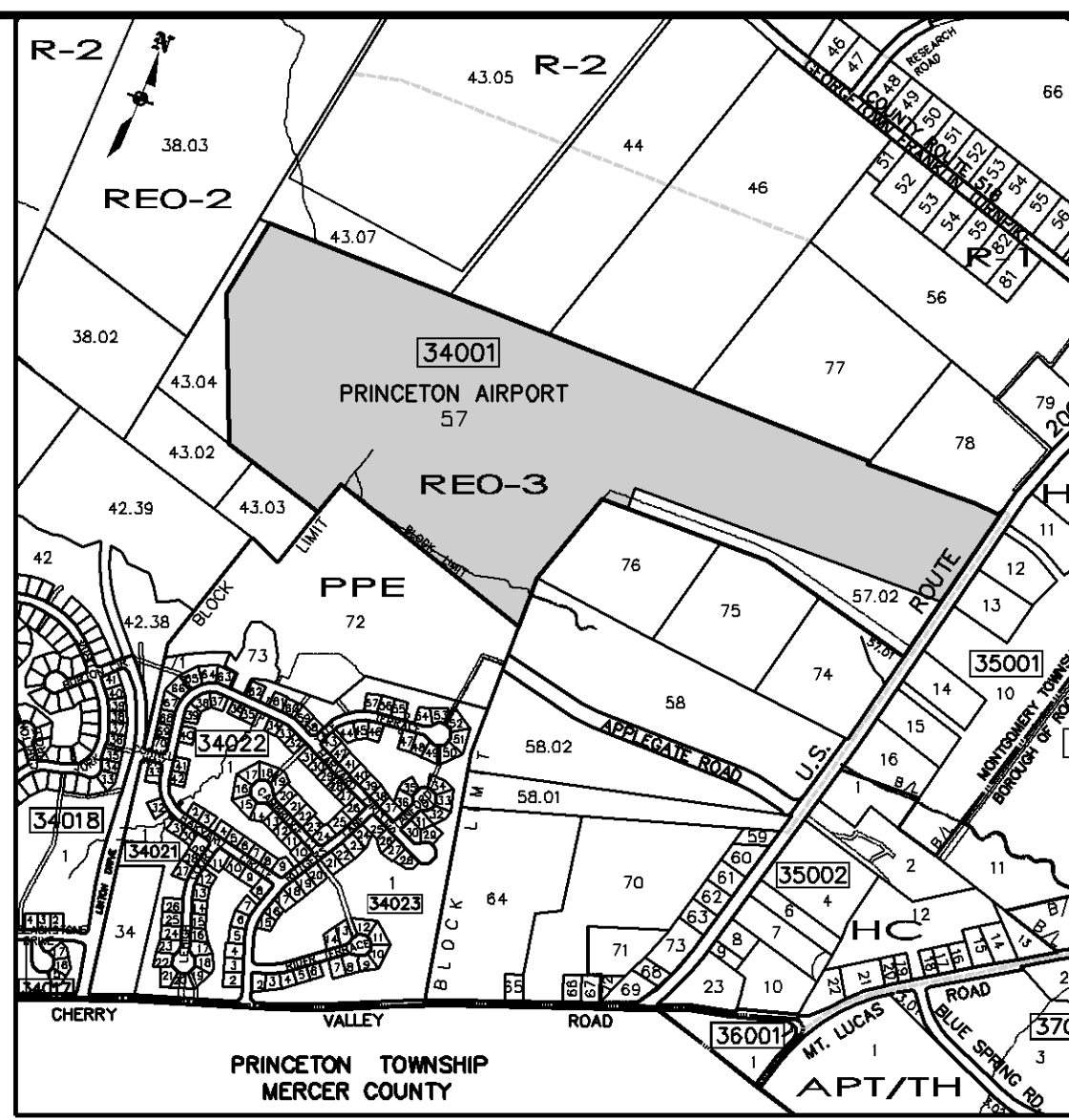
1. CONSTRUCT 2nd STORY OFFICE 3,050 S.F.
2. RECONFIGURE AUTOMOBILE PARKING BY OFFICE, INCLUDING HANDICAPPED PARKING AND LANDSCAPING.
3. CONSTRUCT BUILDING 4 (9,632 S.F.) AND PAVEMENT AREAS ASSOCIATED WITH BUILDING #4.
4. REMOVE 5 EXISTING TIE-DOWN SPACES TO CREATE 26 RENTAL SPACES.
5. FIVE (5) TIE-DOWN AREAS WILL BE CONSTRUCTED AT THE WESTERLY END OF THE AIRPORT.
6. CONSTRUCT TWO RAIN GARDENS BY BUILDING #4.
7. CONSTRUCT SIDEWALK ALONG ROUTE 206 ON LOT 57 WILL COMPLETE IN PHASE II.

PHASE II

1. CONSTRUCT BUILDING 4A (2,087 S.F.) & 4B (12,960 S.F.)
2. COMPLETE REMAINING PAVEMENT AREAS.
3. 13 ADDITIONAL TIE-DOWN AREAS ADDED AT THE WESTERLY END OF AIRPORT
4. CONSTRUCT BIO-RETENTION BASIN.
5. CONSTRUCT SIDEWALK ALONG ROUTE 206 ON LOT 57

GENERAL NOTES:

1. NO CERTIFICATION IS MADE BY D.S. ENGINEERING, P.C. AS TO THE ACTUAL POSITION OF ANY UNDERGROUND UTILITIES OR TO THE COMPLETENESS OF THE UTILITIES SHOWN.
2. IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-272-1000



APPLICANT/OWNER - LOT 57
PRINCETON AERO CORP.
41 AIRPARK ROAD
PRINCETON NJ 08540
(609) 921-3100

D.S. ENGINEERING, P.C.

ENGINEERS AND DESIGN PROFESSIONALS
P.O. Box 792
Rocky Hill, New Jersey, 08553
(908)-369-0889 Fax (908)-369-4118

BY: David J. Schmidt Professional Engineer N.J. Lic. No. 39409

REVISIONS	DATE	DATE	DATE
REVISED PER DRC MEMO 6-13-2022	07/08/22	07/08/22	07/08/22
DATE: April 6, 2022	SCALE: 1" = 60'	DESIGN BY: D.J.S.	DRAWN BY: J.B.G.
CHECKED BY: D.J.S.	JOB # 04-05-Mont		

Drainage, Grading and Soil
Erosion Sediment Control plan
Prepared For
Princeton Aero Corporation
Sited in
Montgomery Township
Somerset County ~ New Jersey

Seed, fertilizer, lime and topsoil (if required) all scalped areas immediately after finished grading is completed. Lime and fertilizer recommendations are as follows or according to results of soil tests:

- a. Fertilizer to be applied at the rate of 500 lbs. per acre, 10-20-10.
- b. Temporary Seeding:
- Lime: 2 tons per acre ground area
Fertilizer: 500 lbs. per acre 10-20-10
Seed: Use the following seed mixture(s) and rates based on the time of year:
- Early Spring/Late Summer to Early Fall
100% Perennial Ryegrass
Rate = 100 lbs/acre
 - Late Fall
100% Cereal Rye
rate = 112 lbs/acre
 - Mid-Summer
40% Pearly Millet
40% Millet (German and Hungarian)
20% Weeping Lovegrass
Rate = 100 lbs/acre
- c. Permanent Seeding: (To be applied during periods of 03/01/ - 11/15, Temporary Seeding to be applied all other times of year)
- Lime: 2 tons per acre ground area
Fertilizer: 500 lbs. per acre 10-20-10
Seed: Lawns - Quality Sun and Shade
45% Perennial Ryegrass*
20% Chewings Fescue
20% Creeping Red fescue
15% Kentucky Bluegrass
(* include at least two different varieties in mix)
Rate = 200 lbs/acre

- MINIMUM STABILIZATION REQUIREMENTS
- I. Site Preparation
- A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and anchoring, and maintenance. All grading should be done in accordance with Standards for Land Grading.
- B. Install needed erosion control practices and facilities such as diversion, grade stabilization structures, channel stabilization measures, sediment basins and waterways.
- II. Seeded Preparation
- A. Apply limestone and fertilizer according to soil test recommendations such as those offered by Rutgers University Soil Testing Laboratory. Soil sample mailers are available from the local Cooperative Extension Service office. If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-20-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Apply Limestone as follows:
- | SOIL TEXTURE | TONS/ACRE | LBS./1,000 SQ. FT. |
|---------------------------------------|-----------|--------------------|
| Clay, clay loam and high organic soil | 3 | 135 |
| Sandy loam, loam, silt loam | 2 | 90 |
| Loamy sand, sand | 1 | 45 |
- Pulverized dolomitic limestone is preferred for most soils south of the New Brunswick-Trenton line.
- B. Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or discing operation should be on the general contour. Continue tillage until a reasonably uniform, fine seedbed is prepared. All but clay or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible.
- C. Remove from the surface all stones two inches or larger in any dimension. Remove all other debris, such as wire, cable, tree roots, pieces of concrete, clods, lumps or other unsuitable material.
- D. Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retiled and firmed as above.

Acid Soil Conditions

Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before seeded preparation. The added soil shall be limed as above.

- III. Seeding
- A. See Agronomic recommendations or use mixture recommended by the Cooperative Extension Service or Soil Conservation Service Which is approved by the Soil Conservation District.
- B. Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill, outpacer seeder, or hydroseeder. The latter may be justifiable for large, steep areas where conventional vehicles cannot travel. Mulch shall not be included in the tank with the seed. Except for drill, hydroseeded, or outpacer seeded, hydroseed shall be incorporated into the soil, to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/2 inch deeper on coarse textured soil.
- C. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.

- IV. Mulching
- Mulching is required on all seeding. Mulch will insure against erosion before grass is established and will promote faster and earlier establishment. (The existence of satisfactory permanent vegetation at the time of project or unit completion shall be deemed as compliance with this mulching requirement.)
- A. Mulch materials should be unrotted small grains straw, hay free of seeds or salt hay to be applied at the rate of 1 1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimper is used instead of a liquid mulch-binder (taclifying or adhesive agent), the rate of application must be double the lower rate. Mulch chopper-blowers must not grind the material.
- B. Spread uniformly by hand or mechanically so that approximately 75% to 95% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square foot sections and distribute 70 to 90 pounds within each section.
- C. Mulch anchoring should be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes and costs.

1. Peg and Twine - Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.
2. Mulch Nettings - Staple paper, jute, cotton or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.
3. Crimper (mulch anchoring tool) - A tractor-drawn implement, somewhat like a disc-harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No taclifying or adhesive agent is required.
4. Liquid Mulch-Binders - May be used to anchor salt hay, hay or straw mulches.
- A. Applications should be heavier at edges where wind catches the mulch, in valleys and at crests of banks. Remainder of area should be uniform in appearance.
- Synthetic or organic binders - binders such as curasol, dca-70, petro-set and terra-tack may be used at rates recommended by the manufacturer to anchor mulch materials.
- Note: All names given above are registered trade names this does not constitute a recommendation of these products to the exclusion of other products.
- D. Wood-fiber or paper-fiber mulch at the rate of 1,500 pounds per acre may be applied by a hydroseeder, use is limited to flatter slopes and during optimum seeding periods in spring and fall.

- V. Irrigation (where feasible)
- If soil moisture is deficient and mulch is not used, supply new seedlings with adequate water (a minimum of 1/2 inch twice a day until vegetation is well established), this is especially true when seedlings are made in abnormally dry or hot weather or on droughty sites.
- VI. Topdressing*
- A. Spring seedlings will require an application of fertilizer such as 10-10-10 or equivalent at 400 pounds per acre or 10 pounds per 1,000 square feet between September 1 and October 15.
- B. Fall seedlings will require the above between March 15 and May 1.
- C. Mixtures dominated by weeping lovegrass or legumes may not need topdressing
- D. Bermudagrass should be topdressed before August 15.
- *If slow release nitrogen (300 pounds 38-0-0 per acre or equivalent) is used in addition to suggested fertilizer, this follow-up of topdressing is not mandatory).

GENERAL NOTES FOR SOIL EROSION & SEDIMENT CONTROL PLANS

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING, IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS
- PERMANENT VEGETATION SHALL BE SEEDDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.: STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAN 3:1).
- TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'x30'x6" PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN THAT N.J.S.A. 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
- MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
- HYDRO SEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHALL BE APPLIED AT A RATE OF 1500 LB. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.

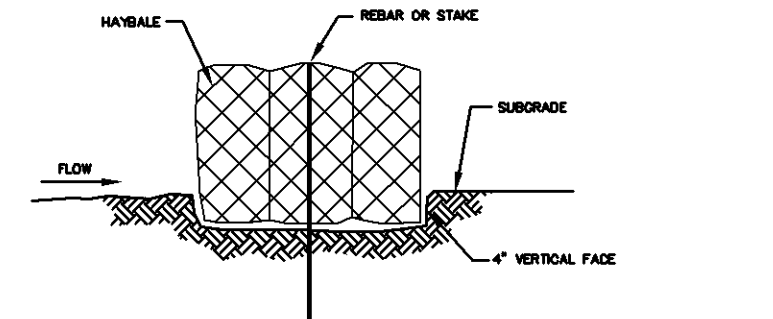
SOIL NOTE:

NO SOIL CAN BE IMPORTED TO OR REMOVED FROM THE SITE UNTIL A SOIL IMPORTATION OR EXPORTATION PERMIT HAS BEEN OBTAINED FROM THE TOWNSHIP, AS REQUIRED BY ORDINANCE.

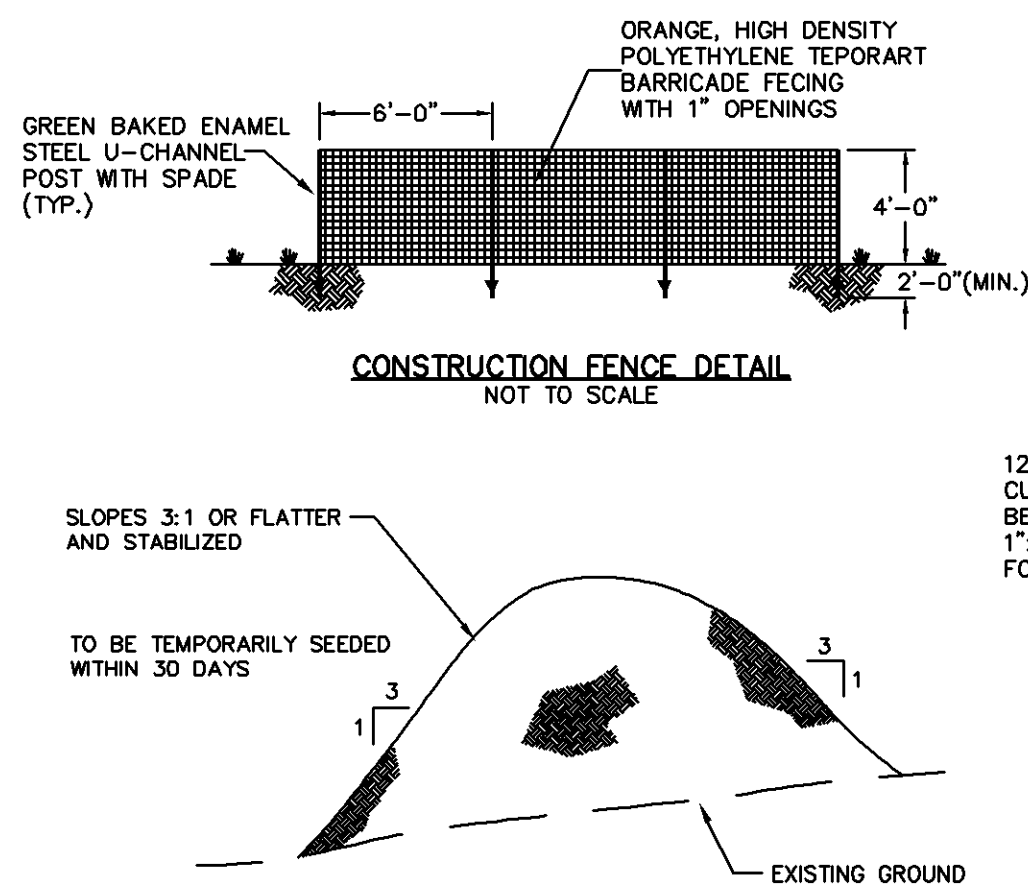
STANDARD CONSTRUCTION NOTES COUNTY FOR ROAD IMPROVEMENTS

- Prior to the initiation of any excavation or construction within any street, road, or right of way under the jurisdiction of the Somerset County Board of Chosen Freeholders, a Somerset County Road Opening Permit shall be obtained from the Office of the County Engineer.
- The Office of the County Engineer is to be notified seventy-two (72) hours in advance of commencement of construction of any improvements under the jurisdiction of the County of Somerset. Grade construction sheets will be submitted at this time. These grade construction sheets are to be signed and sealed by a professional land surveyor.
- As indicated in the "Manual on Uniform Traffic Control Devices," proper and sufficient construction warning signs are to be provided and maintained by contractors performing construction work along County roads. Said signs are to be maintained until construction is completed and approved by the appropriate County inspection personnel. All improvements under the jurisdiction of the County of Somerset are to be constructed in accordance with Somerset County Specifications.
- All improvements under jurisdiction of the County of Somerset are to be constructed in accordance with Somerset County Specifications. mailbox and the postmaster.
- All mailboxes, located within the construction improvements in the County R.O.W. will be reset in accordance with the owner of the mailbox and the postmaster.
- Information monuments, markers, disks, rivets of the National Geodetic Control Survey may be obtained from the New Jersey Department of Transportation, Geodetic Division, 1035 Parkway Avenue, Trenton, NJ, telephone # (609) 530 - 5641; or the Somerset County Engineering Division, telephone # (908) 231 7024, ext. 7253.
- The New Jersey Geodetic Control Survey, at the above address, is to be notified two (2) weeks in advance of commencement of construction of any improvements in order to preserve the resetting of existing monuments, or installation of new monuments if required by the County.

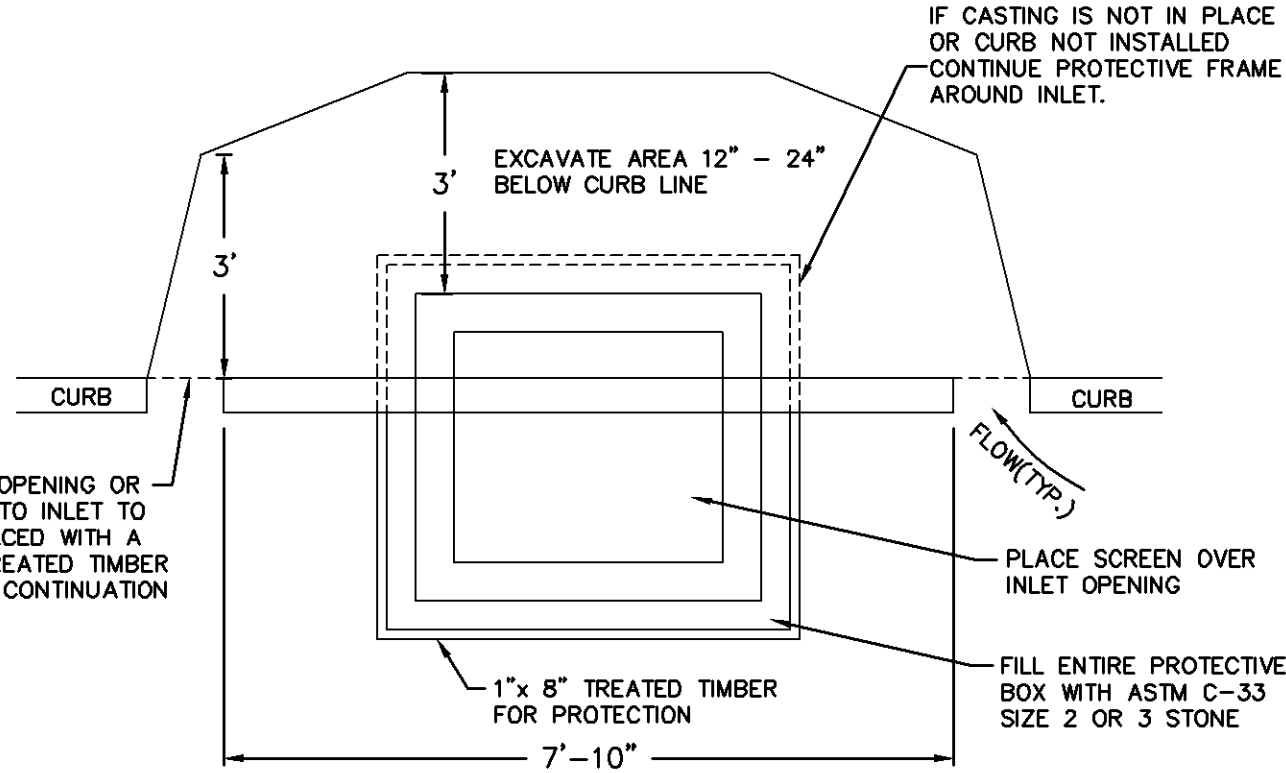
Prepared by: Somerset County Department of Public Works



PLACEMENT AND ANCHORING DETAIL
BALE SEDIMENT BARRIERS
NOT TO SCALE



TOPSOIL STOCKPILE DETAIL
NOT TO SCALE



SEDIMENT TRAP INLET
NOT TO SCALE

BIORETENTION MEDIA SPECIFICATION

- EXISTING FILL DIRT AND TOPSOIL MUST BE COMPLETELY REMOVED BEFORE INSTALLING UNDERDRAIN STONE AND BIORETENTION MEDIA.
- BIORETENTION MEDIA SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS: NATIVE TOPSOIL CAN BE USED TO MEET THESE SPECIFICATIONS WHEN USED IN THE PROPER MIXTURE WITH CONCRETE AGGREGATE SAND.
- A MIXTURE OF 5% COMPOST AND 95% BANK RUN SAND THAT MEETS THIS SPECIFICATION IS AVAILABLE FOR DELIVERY FROM NATURE'S CHOICE (908-964-2007).
- LIME SHALL BE ADDED AS REQUIRED TO MEET THE pH SPECIFICATIONS.
- ALL COMPOST/TOPSOIL AND SAND SHALL BE TESTED FOR GRADATION AND FERTILITY TO OBTAIN THE PROPER MIXTURE RATIO. THE ENGINEER SHALL APPROVE OF THE MIXTURE RATIO BEFORE PERMITTING THE BIORETENTION MEDIA TO BE PLACED.
- ALL BIORETENTION MEDIA SHALL BE PLACED BY TRACKHOE EXCAVATOR FROM THE SIDES OF THE FACILITIES, AND IN NO EVENT SHALL ANY TRACKED OR WHEELED EQUIPMENT BE PERMITTED TO CROSS THE BIORETENTION MEDIA. THE ENGINEER SHALL BE PRESENT TO WITNESS THE PLACEMENT OF BIORETENTION MEDIA.
- THE BIORETENTION MEDIA SHALL BE LOOSELY PLACED AT A DEPTH OF 3 INCHES ABOVE FINAL GRADE TO ALLOW FOR SETTLEMENT. IT SHALL BE LEVELED BY HAND. BIORETENTION MEDIA. THE ENGINEER SHALL BE PRES.

BIORETENTION MEDIA SPECIFICATIONS

PROPERTY	REQUIREMENT	PROPERTY	REQUIREMENT
pH	6.5-7.5	Organic Matter	2-5%
Mg	35 lb./ac.	Sand	85-90%
Po	75 lb./ac.	Silt	5-10%
K	85 lb./ac.	Clay	4-8%
Salts	<500 ppm	CEC	8-25cmol/kg
K	85 lb./ac.	Clay	5-10%

RAIN GARDEN SEED MIX

SCIENTIFIC NAME	SUPPLIER
FACV WETLAND MEADOW MIX	(ERNST CONSERVATION SEEDS)
FLOOD PLAIN WILDLIFE MIX	(ERNST CONSERVATION SEEDS)

RAIN GARDEN MAINTENANCE NOTES

MAINTENANCE NOTES:

THE APPLICANT, OR ITS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR ENSURING THAT THE FOLLOWING MAINTENANCE MEASURES ARE FOLLOWED:

- ALL SEEDDED AREAS SHALL BE INSPECTED FOR PLANT ESTABLISHMENT AFTER THE FIRST SUMMER OF GROWTH. ALL BARE SPOTS SHALL BE RESEEDDED WITH THE APPROPRIATE MIX IN THE NEXT SPRING OR FALL PLANTING SEASON.
- AFTER ESTABLISHMENT, ALL SEEDDED AREAS SHALL BE VISUALLY INSPECTED FOR BARE SPOTS AND ERODED AREAS EVERY SPRING AND FALL, AND AFTER ANY SUBSTANTIAL STORM EVENT. ALL BARE SPOTS SHALL BE RESEEDDED AND/OR STABILIZED WITH APPROPRIATE GEOTEXTILE MATERIALS.
- AFTER ESTABLISHMENT, ALL SEEDDED AREAS SHALL BE VISUALLY INSPECTED FOR WOODY PLANTS AND UNDESIRABLE INVASIVE PLANT SPECIES EVERY SPRING AND FALL. ALL WOODY PLANTS AND UNDESIRABLE INVASIVE PLANT SPECIES SHALL BE SELECTIVELY REMOVED BY MANUAL METHODS OR BY APPROVED SELECTIVE HERBICIDE APPLICATIONS.
- ALL SILT, LITTER, TRASH, DEBRIS SHALL BE REMOVED FROM THE BASIN UPON ANY NOTICEABLE ACCUMULATION, AND AT A SIX MONTH INTERVAL IN THE SUMMER AND WINTER.
- SEEDDED AREAS IN THE BASIN SHALL BE MOWED ONLY ONCE PER YEAR IN THE EARLY SPRING PRIOR TO NEW GROWTH.
- IF NECESSARY, THE BASIN BOTTOM SHALL BE AERATED AFTER THE SPRING MOWING.
- A WRITTEN RECORD OF EVERY INSPECTION AND MAINTENANCE PROCEDURE CONDUCTED IN THE RAIN GARDEN SHALL BE KEPT ON FILE. R YEAR IN THE EARLY SPRING PRIOR TO NEW GROWTH.
- IF NECESSARY, THE BASIN BOTTOM SHALL BE AERATED AF

D.S. ENGINEERING, P.C.

ENGINEERS AND DESIGN PROFESSIONALS
P.O. Box 792
Rocky Hill, New Jersey, 08553
(908)-369-0889 Fax (908)-369-4118

BY:

David J. Schmidt Professional Engineer N.J. Lic. No. 39409

DATE	DATE	DATE	DATE	DATE	DATE
DATE: April 6, 2022	SCALE: ~	DESIGN BY: D.U.S.	DRAWN BY: J.B.G.	CHECKED BY: D.U.S.	JOB # 04-05-Ment
REVISIONS	DATE	DATE	DATE	DATE	DATE

Constuction Details

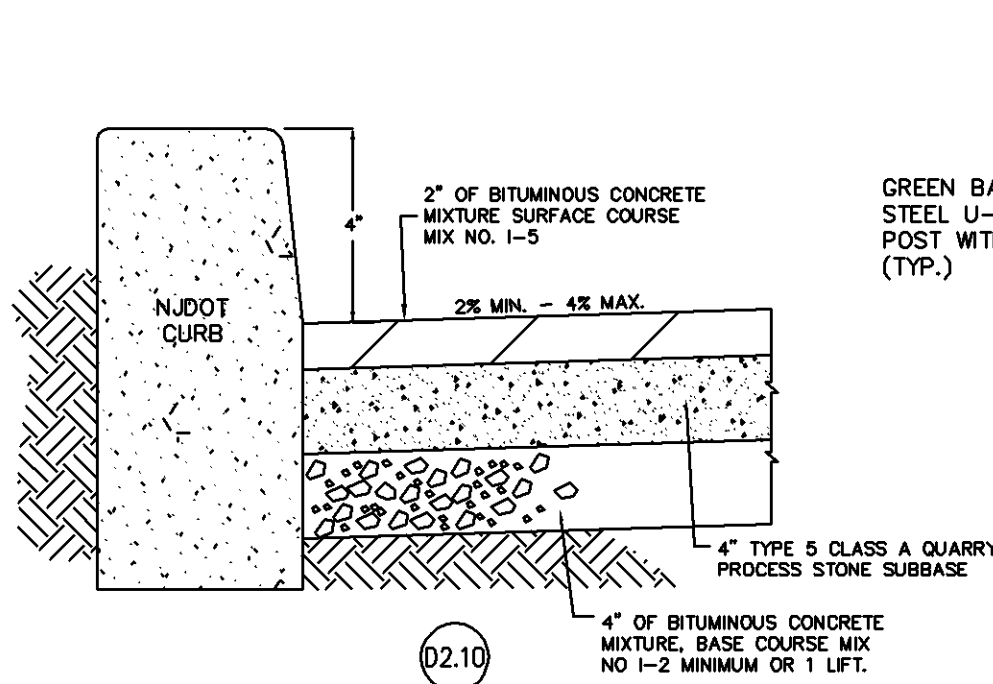
Prepared For

Princeton Aero Corporation

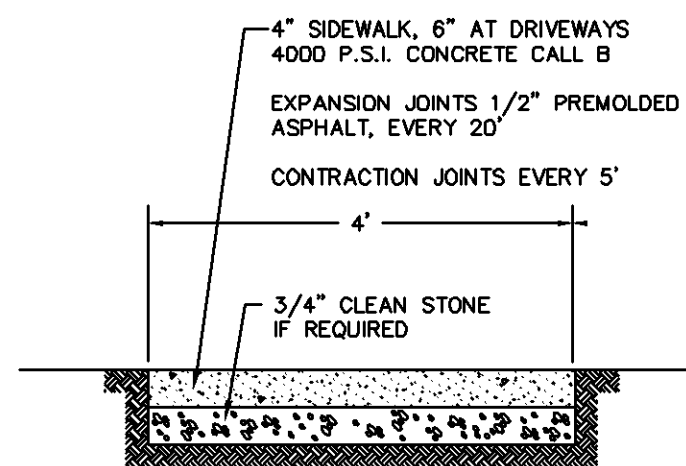
Situated In

Montgomery Township

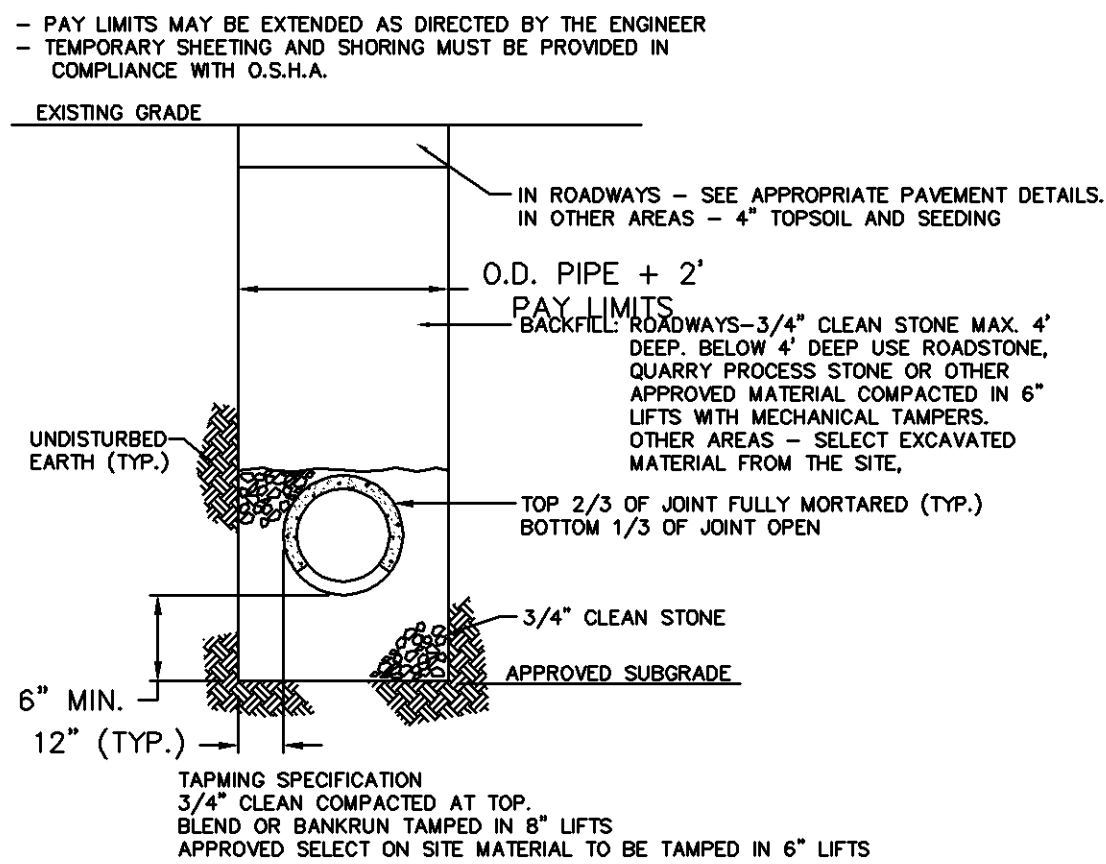
Somerset County ~ New Jersey



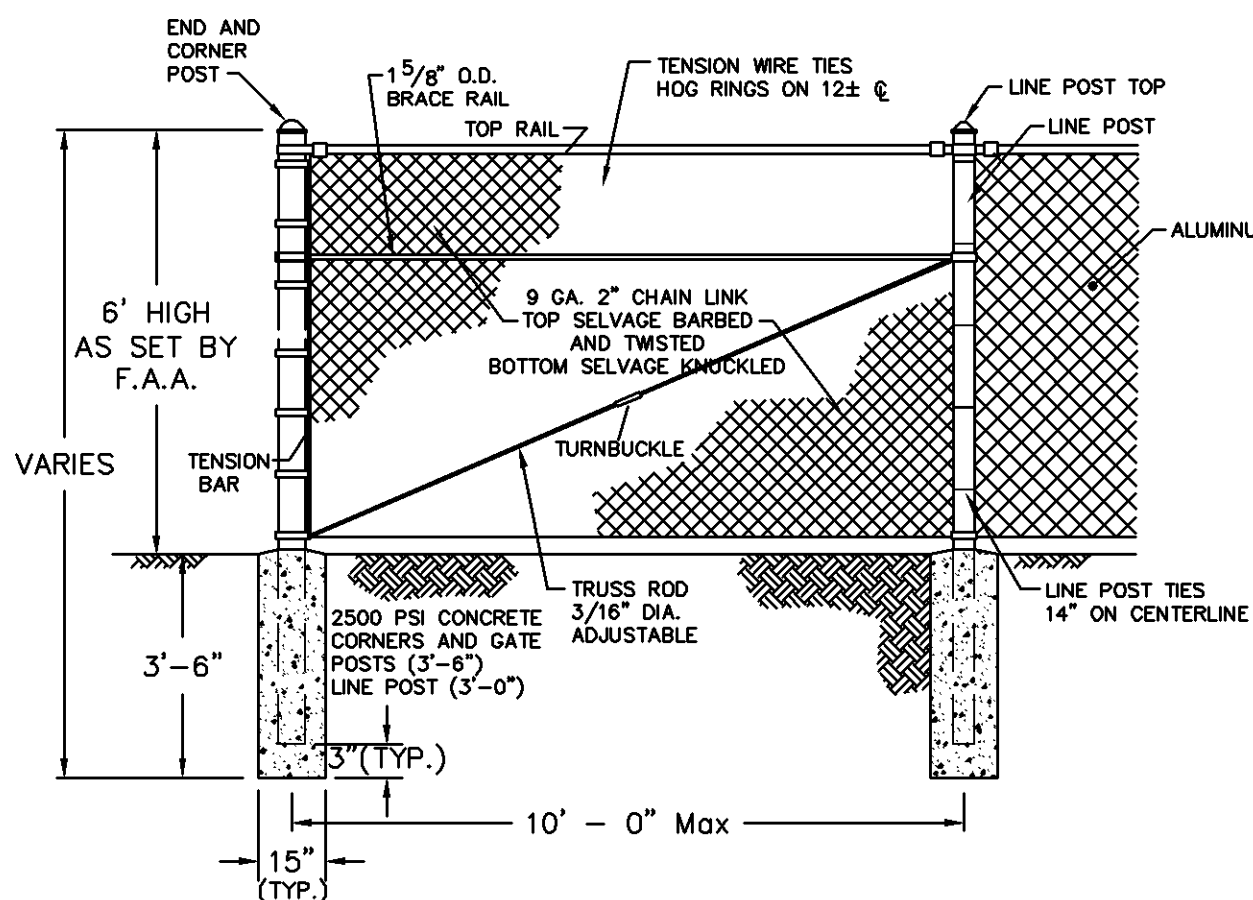
TYPICAL DETAIL FOR TOWNSHIP LOCAL ROADS PAVEMENT AND CONCRETE CURB
NOT TO SCALE



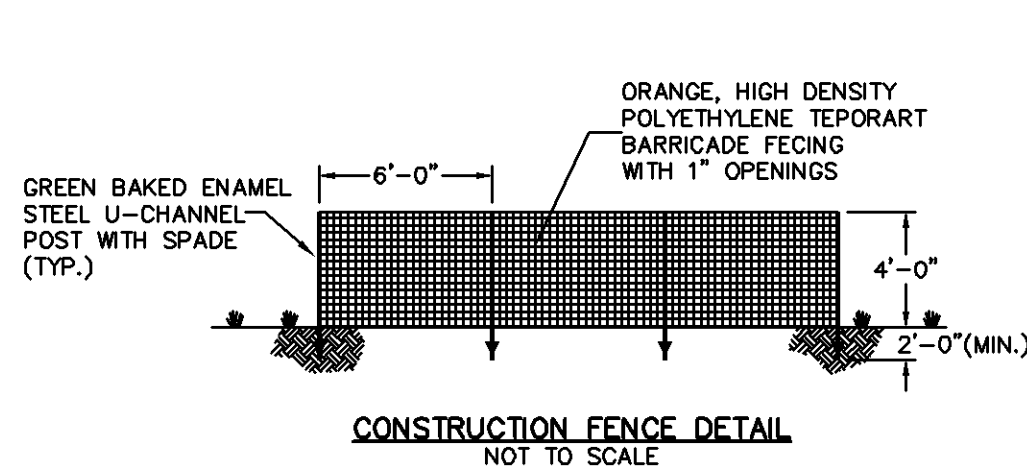
TYPICAL SIDEWALK DETAIL
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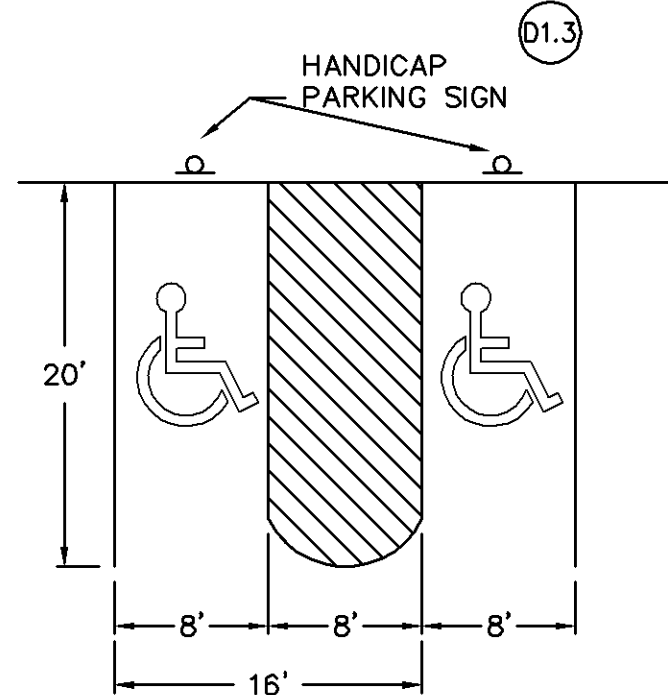
STORM SEWER TRENCH DETAIL
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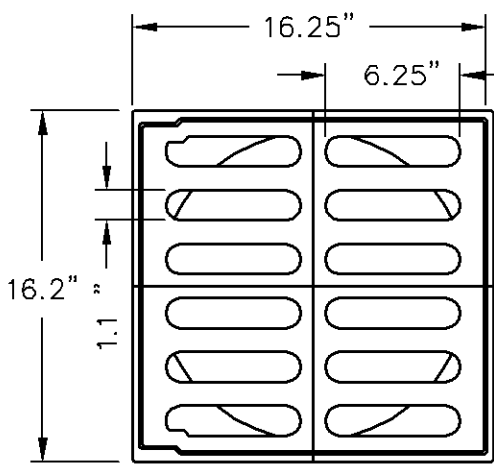
CHAIN LINK FENCE DETAIL
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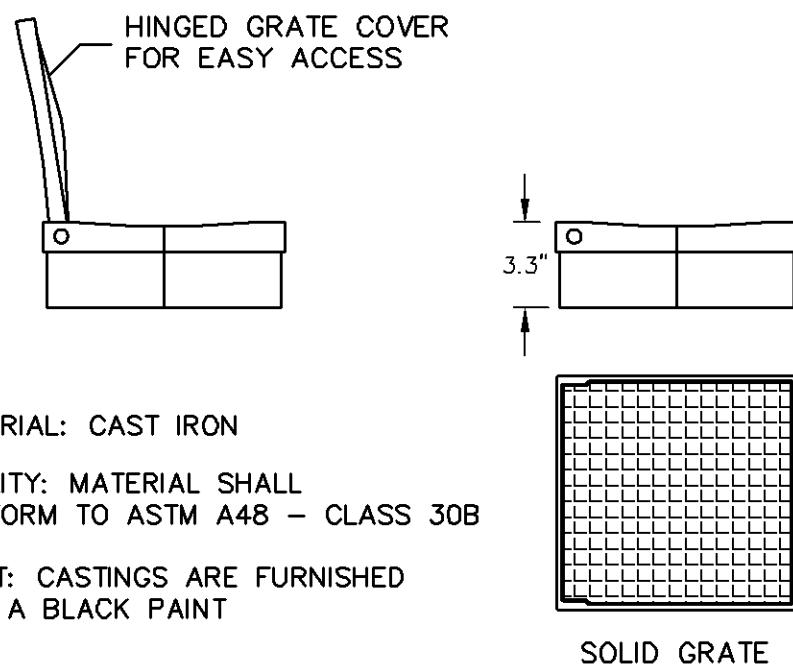
CONSTRUCTION FENCE DETAIL
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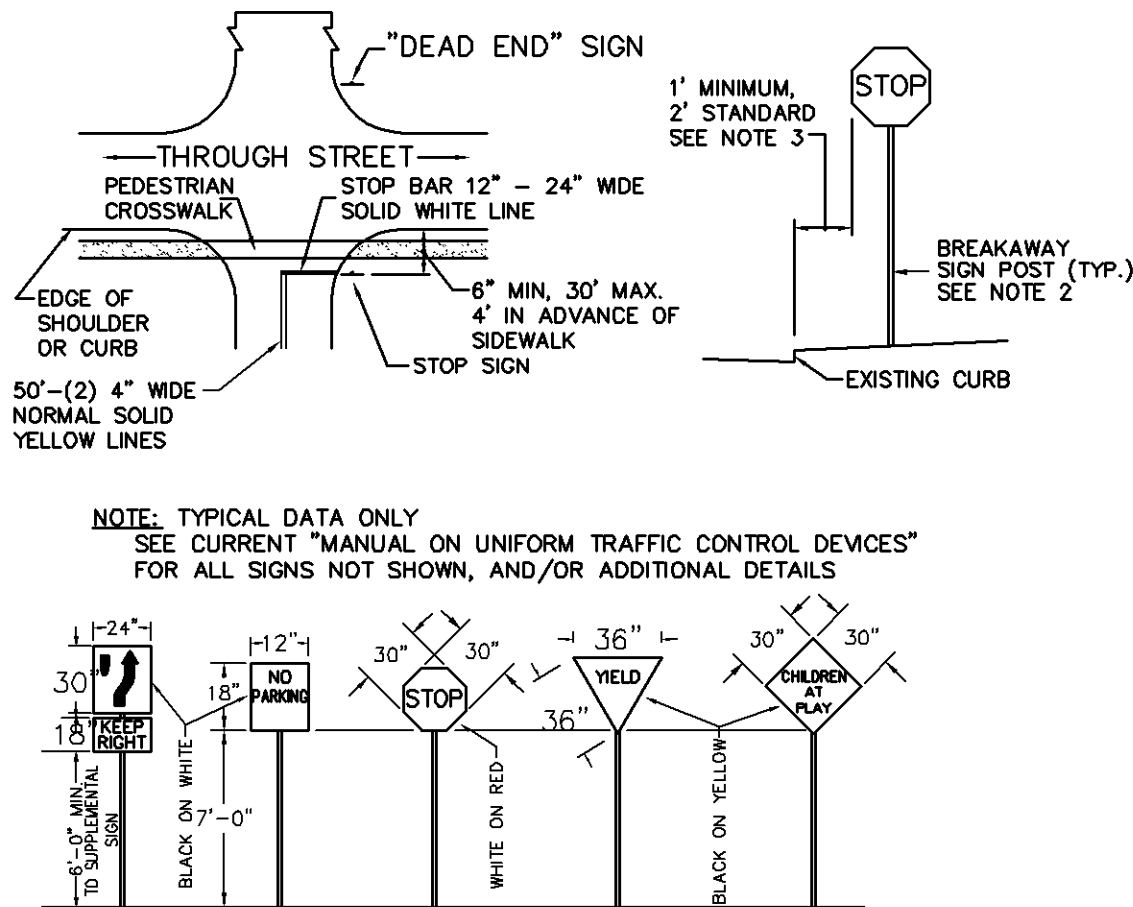
PARKING SPACE FOR THE HANDICAPPED DETAIL
NOT TO SCALE



STANDARD (H-20) RATED DRAIN AREA = 92.5 SQ. INCH

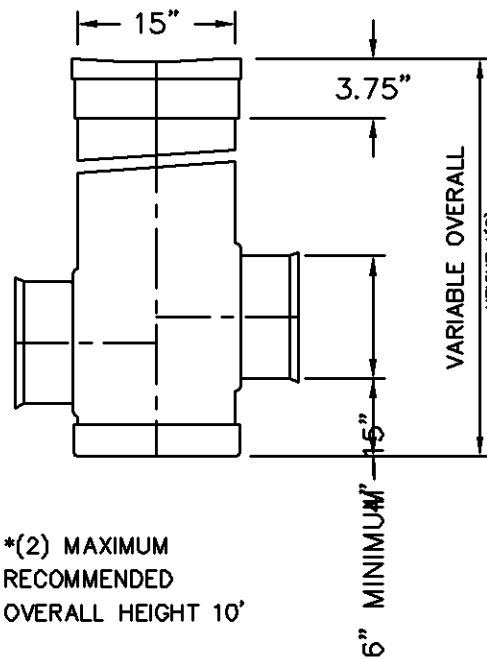


15" CAST IRON GRATE DETAIL
NOT TO SCALE

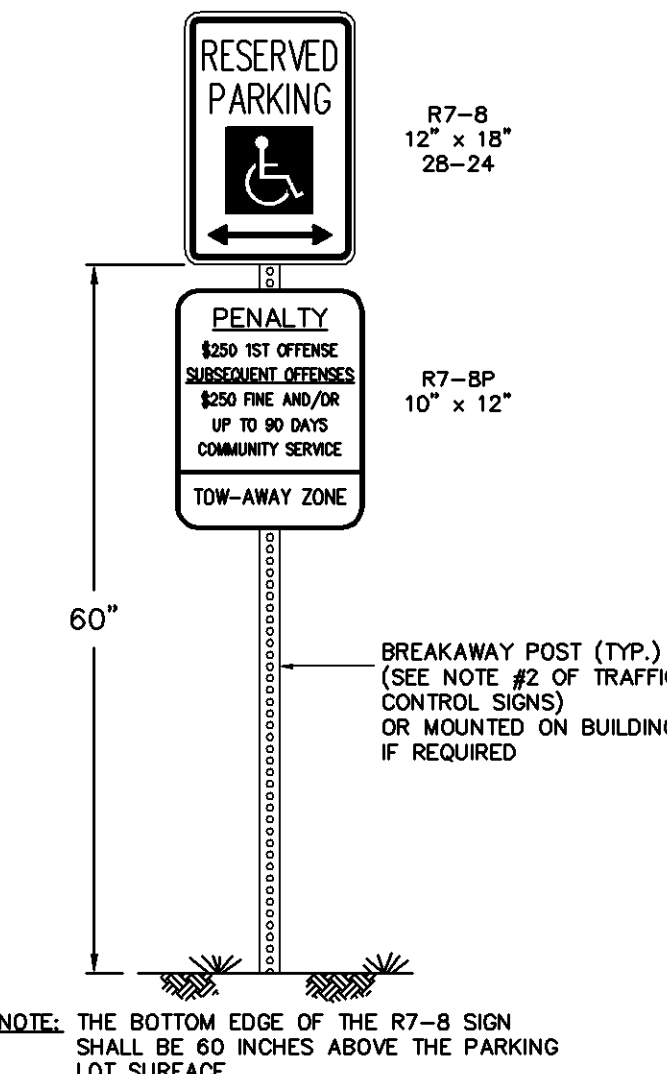


- ALL SIGNS ARE TO BE ALUMINUM 0.080 GAUGE UP TO 6.25 S.F.; 0.100 GAUGE LARGER THAN 6.25 S.F.; THE FACE SHALL BE SCOTCHLITE REFLECTIVE SHEETING OR APPROVED EQUIVALENT HIGH INTENSITY GRADE FOR STOP SIGNS, ENGINEERING GRADE FOR ALL OTHER SIGNS.
- POSTS SHALL BE THE "EZE ERECT" BREAKAWAY SIGN POST SYSTEM OR APPROVED EQUAL POSTS SHALL BE MADE OF HOT ROLLED RAIL STEEL (ASTM A479-76); WEIGHT 6.5LB/FT.; FINISH: BAKED GREEN ENAMEL PAINT; LENGTH: BASE POST 3'-6"; SIGN POST 8'-0" TO 10'-0" AS DIRECTED BY THE ENGINEER.
- IN AREAS WITHOUT CURBING THE OUTER EDGE OF SIGN TO BE 6' MINIMUM TO 12' MAXIMUM FROM EDGE OF SHOULDER AS DIRECTED.

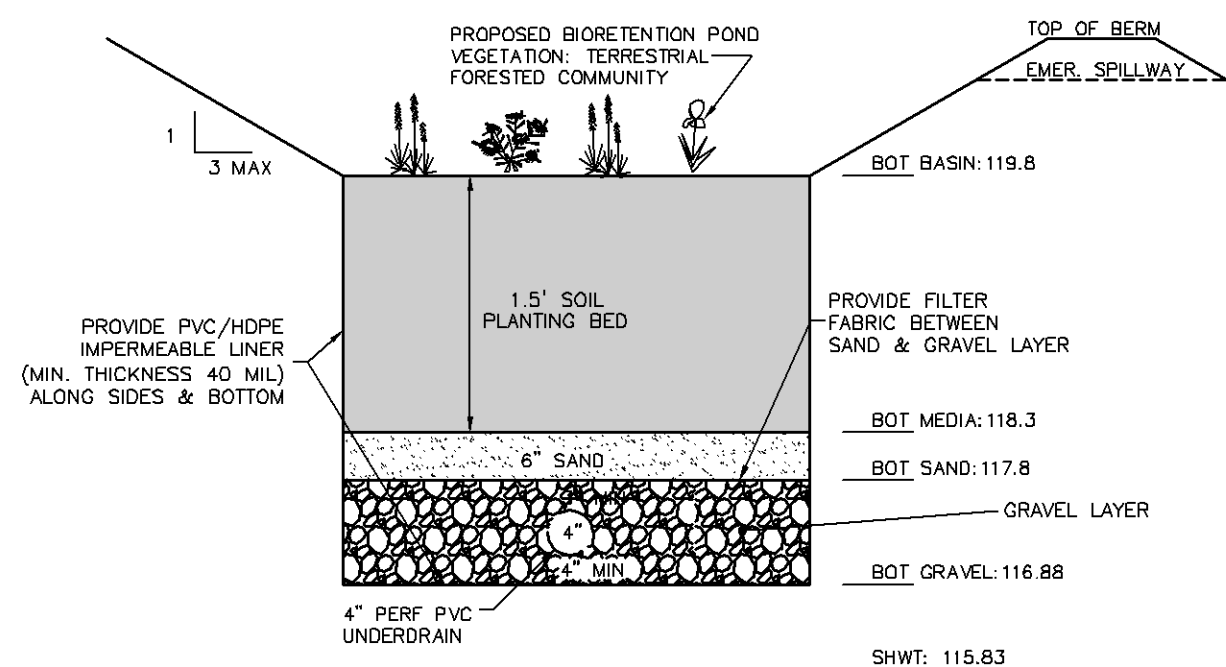
TRAFFIC CONTROL SIGNS
NOT TO SCALE



15" DRAIN BASIN
NOT TO SCALE



HANDICAP SIGN DETAIL
NOT TO SCALE



UNDERDRAINS TO BE SCHEDULE 40 PVC IN ACCORDANCE WITH AASHTO M278. PIPE SHOULD HAVE A MINIMUM OF 3/8" DIAMETER PERFORATIONS AT 6" CENTERS WITH FOUR PERFORATIONS PER ANNUAL ROW. CLEANOUTS TO BE NON PERFORATED.

SAND MUST MEET THE SPECIFICATIONS FOR CLEAN MEDIUM AGGREGATE CONCRETE SAND IN ACCORDANCE WITH AASHTO M-6 OR ASTM C-33.

GRAVEL TO BE 0.5" TO 1.5" CLEAN BROKEN STONE OR PEA GRAVEL (AASHTO M-43)

PLANTING SOIL BED MATERIAL SHALL CONSIST OF THE FOLLOWING MIX, BY WEIGHT:

- 45 TO 95 PERCENT SANDS, WITH NO MORE THAN 25% OF THE SANDS AS FINE OR VERY FINE SANDS
- NO MORE THAN 15% SILT AND CLAY WITH 2% TO 5% CLAY CONTENT
- THE ENTIRE MIX SHALL THAN BE AMENDED WITH 3% TO 7% ORGANICS
- THE MATERIALS PH SHOULD RANGE FROM 5.5 TO 6.5
- THE MATERIAL SHALL BE PLACED IN 12" TO 18" LIFTS

AN IN-SITU PERMEABILITY TEST WILL BE PERFORMED ON THE MATERIAL TO ASSURE THE PERMEABILITY RATE OF 2"/HR (MINIMUM)

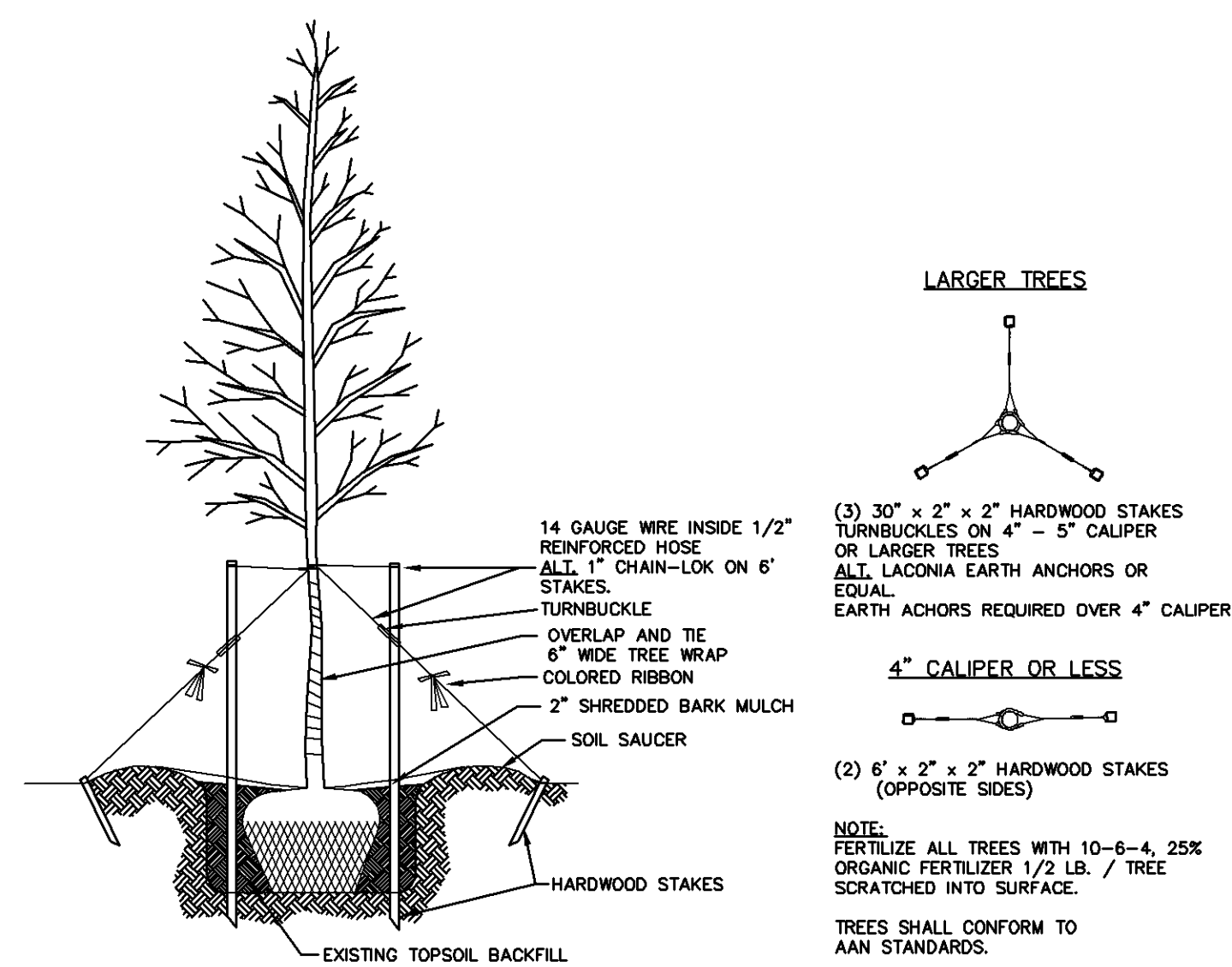
FILTER FABRIC TO BE WOVEN FILTER FABRIC, MIRAFI FW SERIES OR APPROVED EQUAL.

BIORETENTION BASIN BASE
NOT TO SCALE

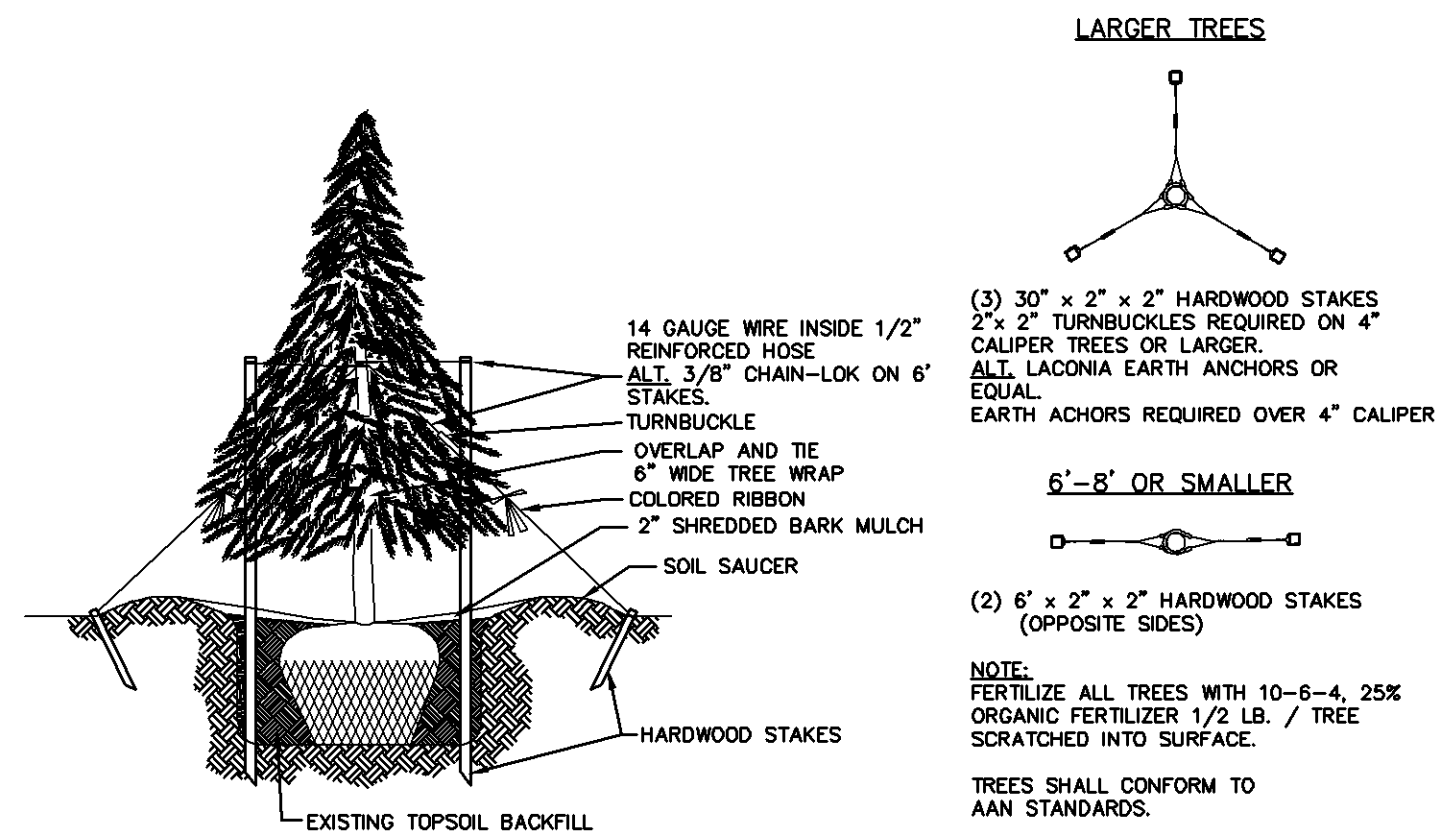
RAIN GARDEN SCHEDULE		
PLANT A TOTAL OF 20 FROM THE FOLLOWING LIST		
SHRUB SPECIES	COMMON NAME	SIZE
ARONIA MELANOCARPA	BLACK CHOKEBERRY	2-3 FT
CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	2-3 FT
CORNUS AMOMUM	SILKY DOGWOOD	2-3 FT
CORNUS STOLONIFERA	RED-OSIER DOGWOOD	2-3 FT
ILEX VERTICILLATA	WINTERBERRY	15-18 IN
LINDERA BENZON	SPICEBUSH	2-3 FT
YBURNUM DENTATUM	ARROWWOOD YBURNUM	2-3 FT

HERBACEOUS PLUGS (PLANTED 2 FOOT O.C.)		
SCIENTIFIC NAME	COMMON NAME	SIZE
ASCLEPIAS INCARNATA	SWAMP MILKWEED	2 IN
ASTER NOV-ANGIAE	NEW ENGLAND ASTER	2 IN
ASTER NOV-BELI	NEW YORK ASTER	2 IN
CAREX CRINITA	FRINGED SEDGE	2 IN
CAREX LURIDA	SHALLOW SEDGE	2 IN
CAREX STIPATA	AML SEDGE	2 IN
EUPATORIUM PERFORIATUM	BONESET	2 IN
IRIS VERSICOLOR	BLUE-FLAG	2 IN
JUNCUS EFFUSUS	SOFT RUSH	2 IN
CALAMAGROSTIS CANADENSIS	BLUE-JOINT GRASS	2 IN
LOBELIA CARDINALIS	CARDINAL FLOWER	2 IN
LOBELIA SPULCHICA	GREAT LOBELIA	2 IN
VERNONIA NOVEBORACENSIS	NEW YORK IRONWEED	2 IN

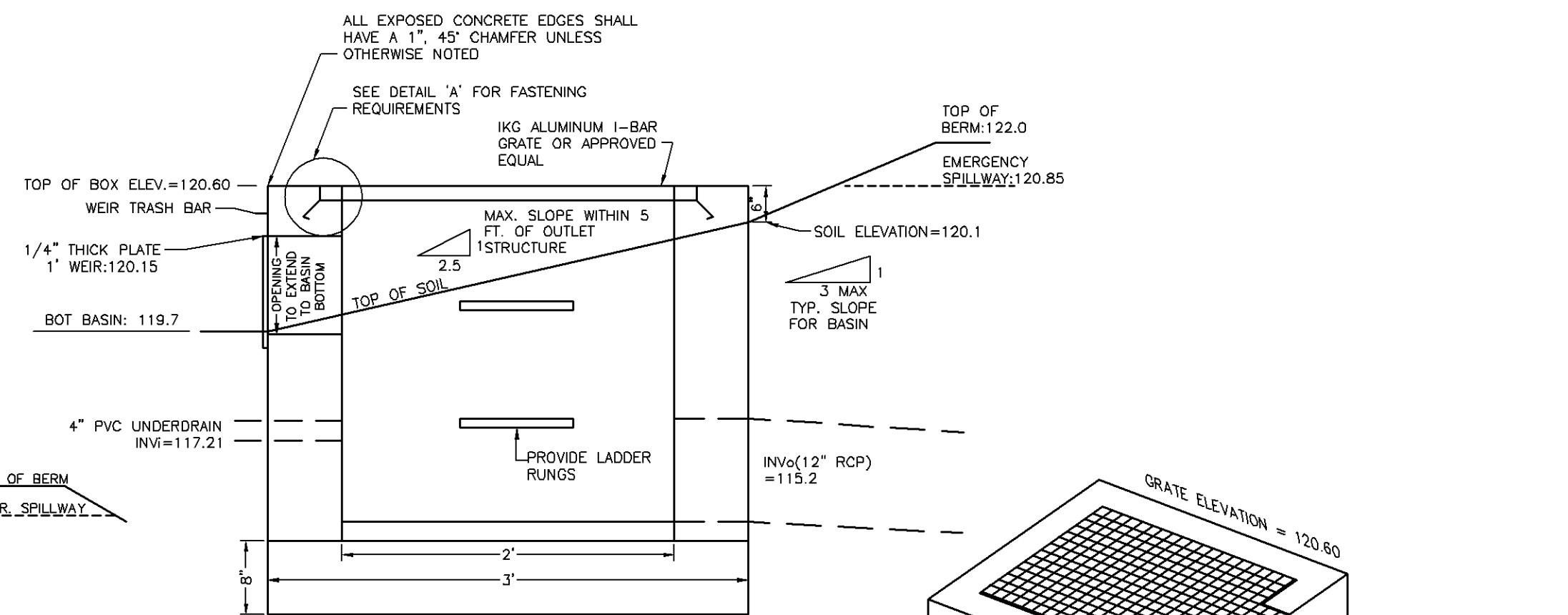
THE SPECIFIED PLANT MATERIALS ARE NATIVE SPECIES SELECTED FOR THEIR ABILITY TO WITHSTAND PERIODIC FLOODING AND DRIER/DROUGHTY CONDITIONS. WHERE POSSIBLE AND WHERE INFORMATION WAS AVAILABLE, SPECIES WERE SELECTED FOR THEIR POLLUTANT TOLERANCE AND POLLUTANT REMOVAL CAPABILITIES. THE PLANTING ARRANGEMENT IS FLEXIBLE BUT SHOULD REMAIN IN A RANDOM OR "NATURAL PLANT LAYOUT". WHILE FLEXIBLE, IT IS IMPORTANT TO ESTABLISH DISTINCT AND DIVERSE LAYERS OF OVERSTORY TREES, UNDERSTORY TREES, SHRUBS AND HERBACEOUS MATERIALS. THE INTENT IS TO ESTABLISH A DIVERSE, DENSE VEGETATIVE COVER TO TREAT STORMWATER RUNOFF AND WITHSTAND STRESSES FROM INSECT AND DISEASE INFESTATIONS, DROUGHT, TEMPERATURE, WIND AND EXPOSURE.



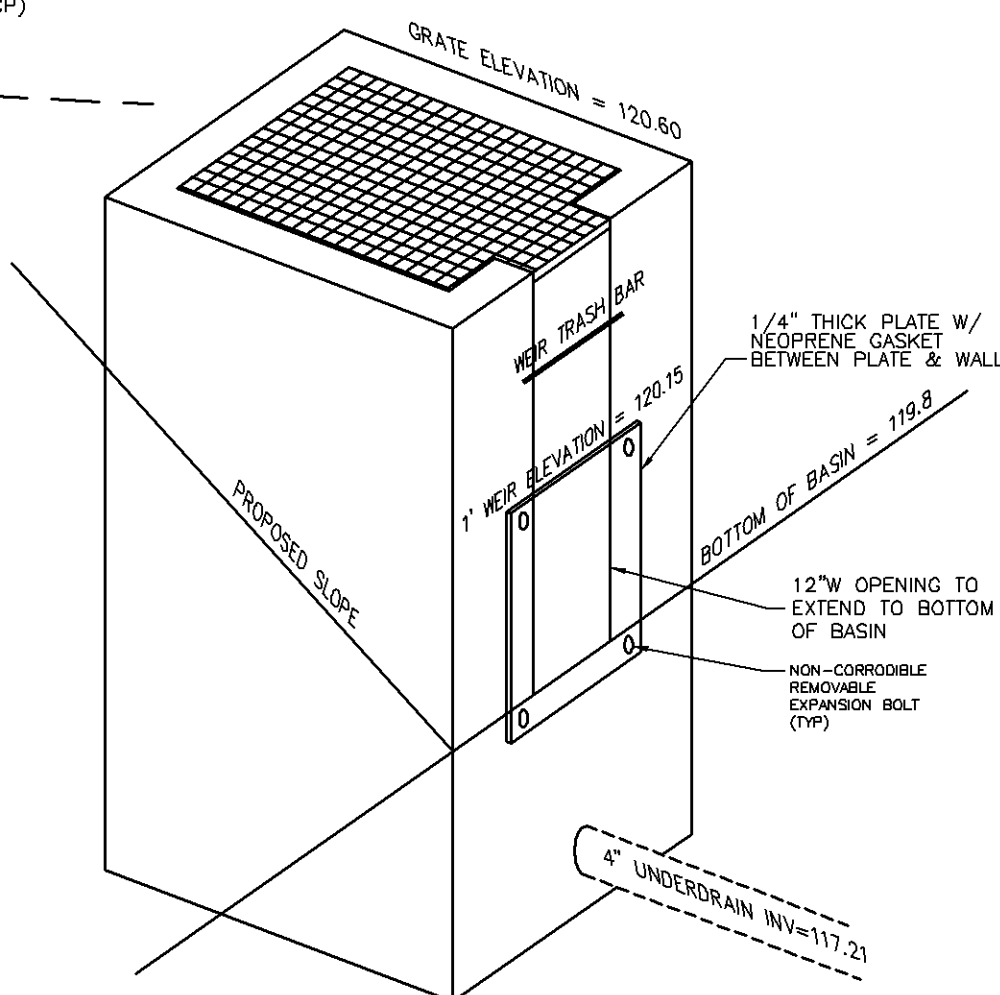
DECIDUOUS TREE STAKING DETAIL
NOT TO SCALE



EVERGREEN TREE STAKING DETAIL
NOT TO SCALE



SIDE VIEW OF OUTLET STRUCTURE
NOT TO SCALE



BIORETENTION BASIN OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE

Construction Details

Prepared For

Princeton Aero Corporation

Situated In

Montgomery Township ~ New Jersey

DATE	April 6, 2022
SCALE	~
DESIGN BY	D.J.S.
DRAWN BY	J.B.G.
CHECKED BY	D.J.S.
JOB #	04-05-Mont

D.S. ENGINEERING, P.C.

ENGINEERS AND DESIGN PROFESSIONALS

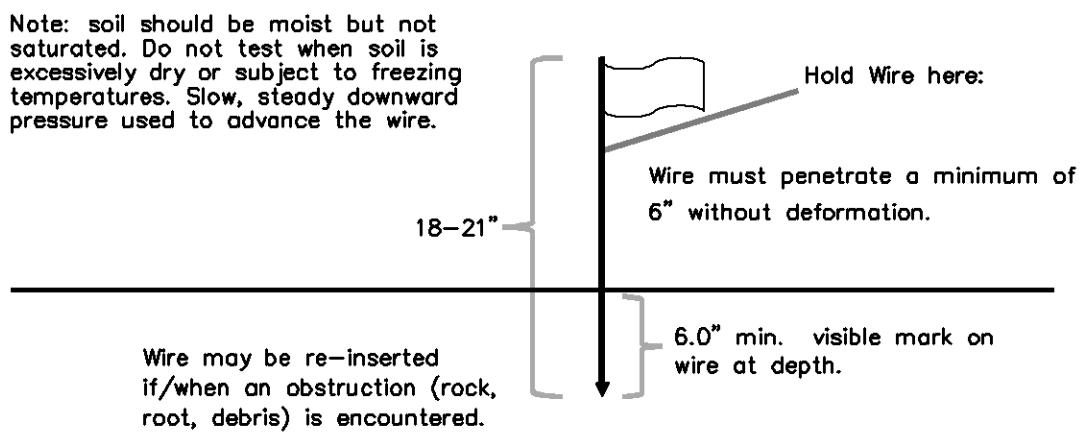
P.O. Box 792
Rocky Hill, New Jersey, 08553

(908)-369-0889 Fax (908)-369-4118

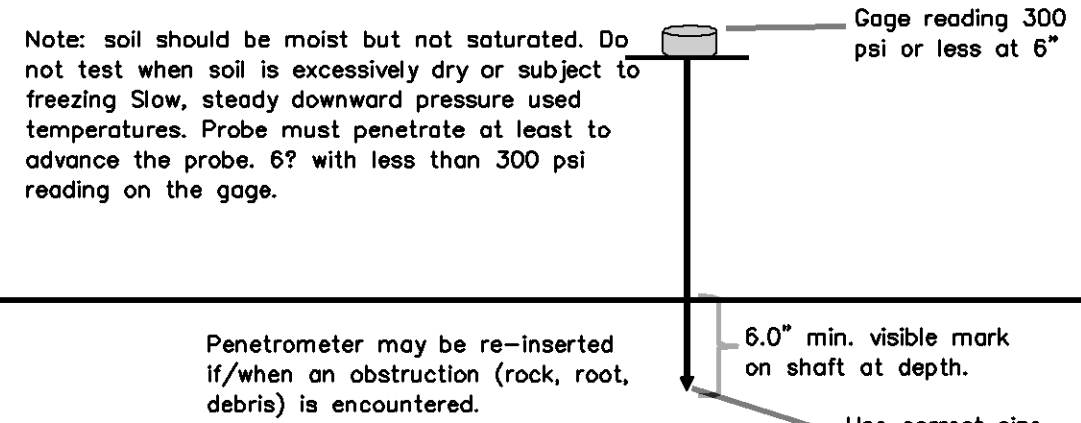
BY: David J. Schmidt Professional Engineer N.J. Lic. No. 39409

Simplified Testing Methods

Probing Wire Test- 15.5 ga steel wire (survey flag)



Handheld Soil Penetrometer Test



Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

- Subgrade soils prior to the application of topsoil (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
- Areas of the site which are subject to compaction testing and/or mitigation are graphically denoted on the certified soil erosion control plan.
- Compaction testing locations are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
- In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- Probing Wire Test (see detail)
- Hand-held Penetrometer Test (see detail)
- Tube Bulk Density Test (licensed professional engineer required)
- Nuclear Density Test (licensed professional engineer required)

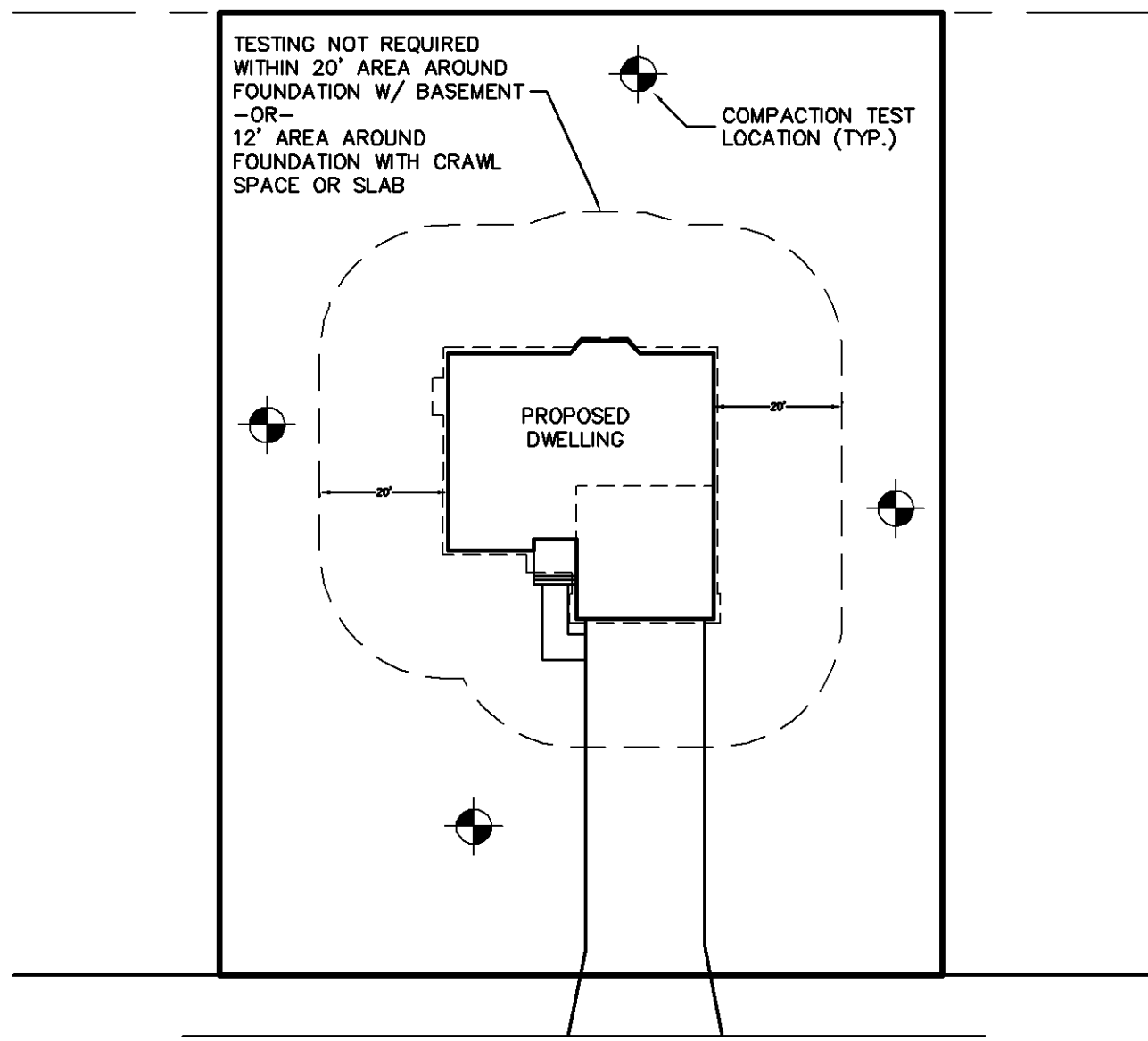
Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

Procedures shall be used to mitigate excessive soil compaction prior to placement of topsoil and establishment of permanent vegetative cover.

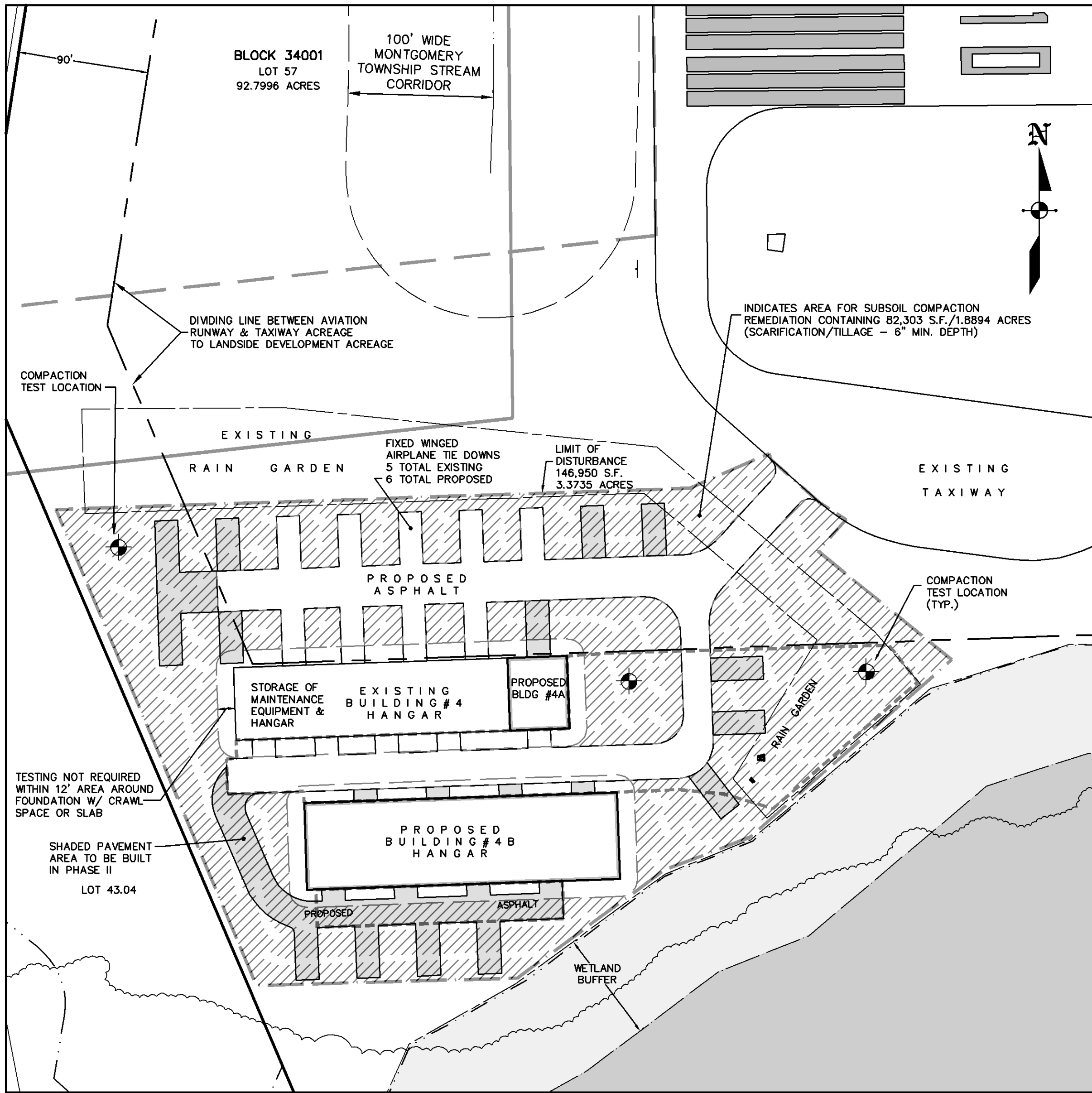
Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.



SINGLE FAMILY DWELLING

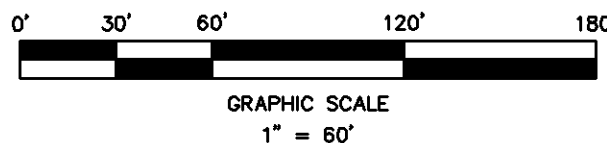
TYPICAL SOIL COMPACTION TESTING LOCATIONS
NOT TO SCALE

NOTE:
LOCATIONS ARE TO BE SET AT AN INTERVAL OF A LEAST ONE TEST PER 1/4 ACRE FOR PROJECTS 1 ACRE OR LARGER. FOR PROJECTS LESS THAN ONE ACRE, AT LEAST TWO TESTS ARE REQUIRED REGARDLESS OF THE SIZE.



AREA SUBJECT TO SOIL COMPACTION MITIGATION

- LEGEND —
- 90 — 90 EXISTING CONTOUR
 - PROPOSED CONTOUR
 - DRAINAGE AREA LIMIT LINE
 - x 100.00 EXISTING SPOT ELEVATION
 - x 100.00 PROPOSED SPOT ELEVATION
 - 37 1.20 = CATCH BASIN NUMBER DRAINAGE AREA IN ACRES
 - PROTECTED INLET (ALL INLETS)
 - DRAINAGE FLOW DIRECTION
 - LIMITS OF CLEARING AND GRADING
 - TOPSOIL STOCKPILE
 - SILTATION FENCE
 - TRAFFIC LIGHT
 - EXISTING TREE
 - EXISTING UTILITY POLE



REVISIONS	DATE	DATE	DATE
	DATE: April 6, 2022		
	SCALE: 1" = 60'		
	DESIGN BY: D.J.S.		
	DRAWN BY: J.B.G.		
	CHECKED BY: D.J.S.		
	JOB # 04-05-Mont		