

VICINITY MAP
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(NOT TO SCALE)



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE

SEE SHEET 5 OF 6 FOR ZONING REPORT

SEE SHEET 6 OF 6 FOR NOTES & REFERENCES

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft


THIS SURVEY IS CERTIFIED TO:
MATTHEW A. MILLS
FIRST STATE BANK & TRUST COMPANY, INC.
PRINCETON PROMENADE, LLC
GOLDENEYE INVESTMENTS, LLC, A MISSOURI LIMITED LIABILITY COMPANY
COMMONWEALTH LIFE AND TITLE INSURANCE COMPANY

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12-14-2021
DATE

JAMES D. SENS

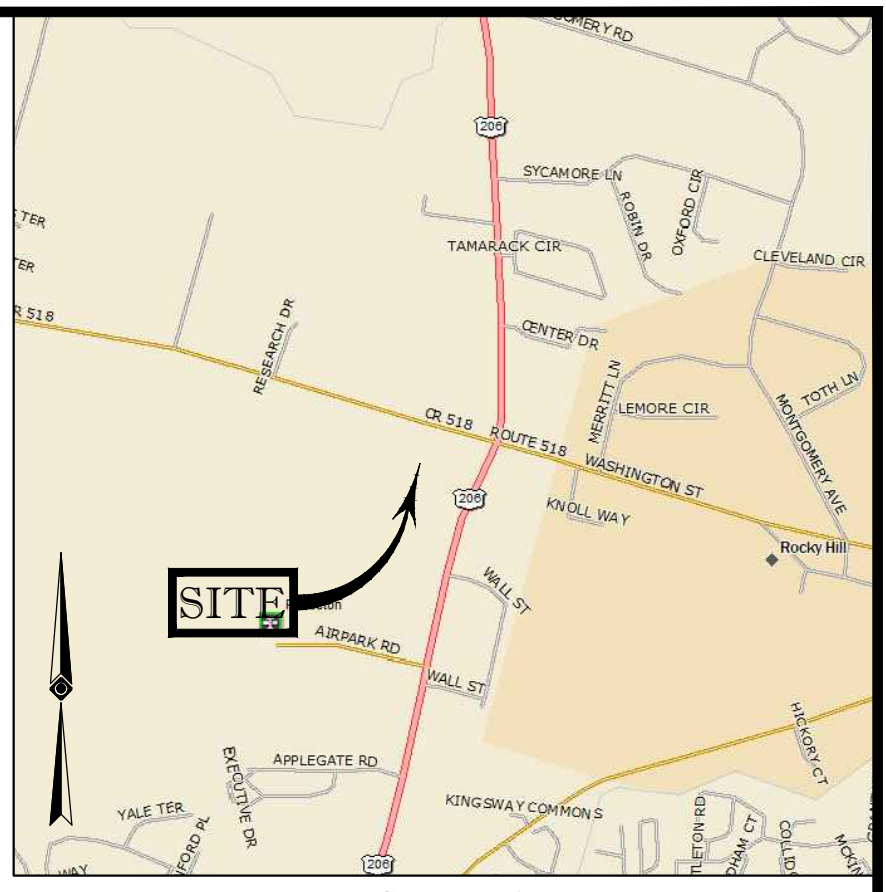
NEW JERSEY PROFESSIONAL LAND SURVEYOR #24GS0432260
NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA2793860

1	REVIEW PER CLIENT COMMENTS			C.W.F.	J.D.S.	12-14-2022
DESCRIPTION OF REVISION				FIELD CROWD	DRAWN	APPROVED DATE
FIELD DATE 10-15-2021						
ALTA/NSPS LAND TITLE SURVEY						
FIELD BOOK NO. 12-42						
1200 ROUTE 206 & COUNTY ROUTE 518						
LOTS 46.01, 56, 77, 78 & 79, BLOCK 34001						
FIELD BOOK PLS 91						
1200 ROUTE 206 & COUNTY ROUTE 518						
TOWNSHIP OF MONMOUTH, SOMERSET COUNTY						
STATE OF NEW JERSEY						
FIELD CROWD S.B./T.H.				CONTROL POINT ASSOCIATES, INC. 300 INDEPENDENCE BOULEVARD, SUITE 100 WABSHEN, NJ 07091 C.W.F. 908.666.0009 908.666.0051 FAX WWW.CONTROLPOINTINC.COM		
				CREATED BY: PLS 12-12 FILE NUMBER: 100-047 DATE: 12-14-2022 1200 ROUTE 206 & COUNTY ROUTE 518 TOWNSHIP OF MONMOUTH, SOMERSET COUNTY STATE OF NEW JERSEY		
REVIEWED:	APPROVED:	DATE:	SCALE:	FILE NO.	DWG. NO.	
K.V.G.	J.D.S.	11-11-2021	1"=100'	01-050276-04	1	OF 6

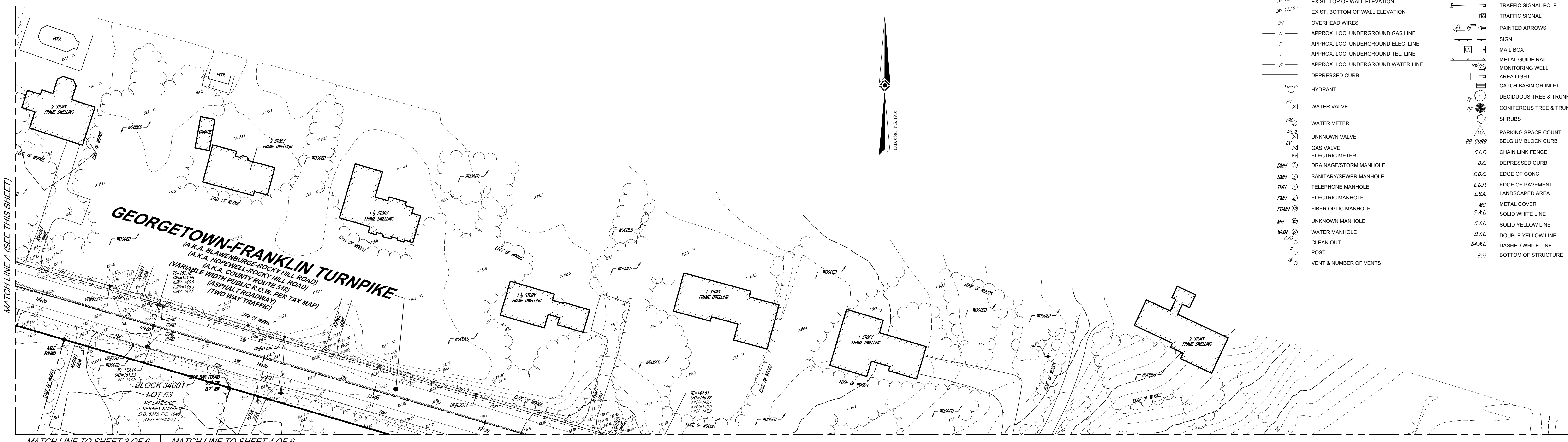
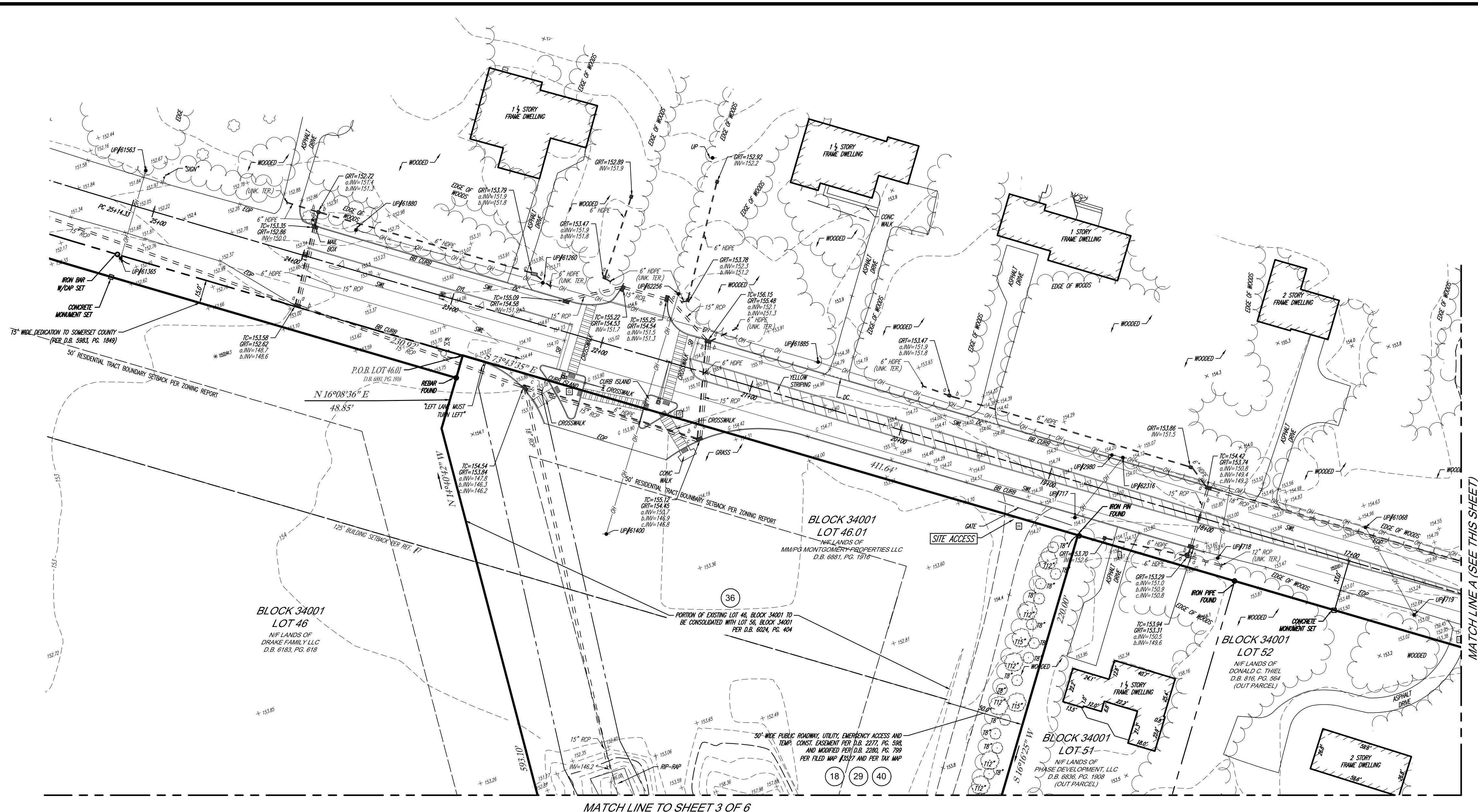
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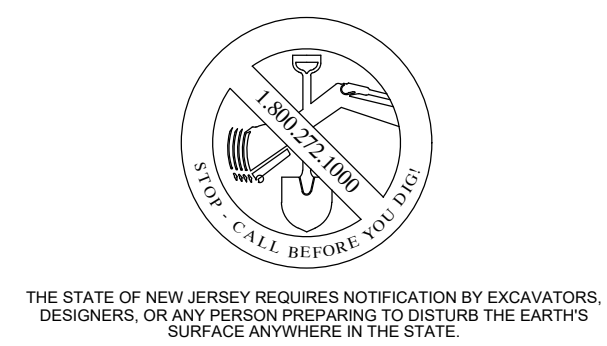
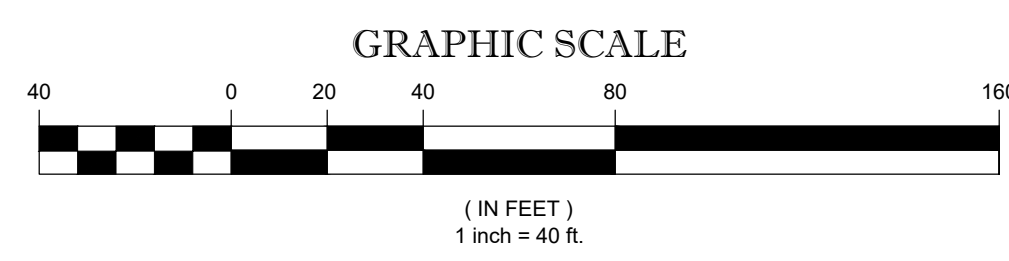
- TABLE OF SIGNIFICANT OBSERVATIONS
- CONCRETE CURB AND PAVEMENT EXTENDING FROM SURVEYED PROPERTY ONTO THE RIGHT OF WAY OF N.J.S.H. ROUTE 206 TO THE SOUTHEAST
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VICINITY MAP
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(NOT TO SCALE)



- LEGEND
- | | | | |
|-----------|-------------------------------------|-------|------------------------------|
| 124 | EXISTING CONTOUR | UP | UTILITY POLE |
| 125 | EXISTING SPOT ELEVATION | UP/LP | UTILITY POLE/LIGHT POLE |
| TC 123.45 | EXIST. TOP OF CURB ELEVATION | — | GUY WIRE |
| G 122.95 | EXIST. GUTTER ELEVATION | — | STREET LIGHT |
| TH 123.45 | EXIST. TOP OF WALL ELEVATION | — | TRAFFIC SIGNAL POLE |
| BW 122.95 | EXIST. BOTTOM OF WALL ELEVATION | — | TRAFFIC SIGNAL |
| OH | OVERHEAD WIRES | — | PAINTED ARROWS |
| G | APPROX. LOC. UNDERGROUND GAS LINE | — | SIGN |
| E | APPROX. LOC. UNDERGROUND ELEC. LINE | — | MAIL BOX |
| T | APPROX. LOC. UNDERGROUND TEL. LINE | — | METAL GUIDE RAIL |
| W | APPROX. LOC. UNDERGROUND WATER LINE | — | MONITORING WELL |
| — | DEPRESSED CURB | — | AREA LIGHT |
| HY | HYDRANT | — | CATCH BASIN OR INLET |
| WV | WATER VALVE | — | DECIDUOUS TREE & TRUNK SIZE |
| WM | WATER METER | — | CONIFEROUS TREE & TRUNK SIZE |
| UV | UNKNOWN VALVE | — | SHRUBS |
| GV | GAS VALVE | — | PARKING SPACE COUNT |
| EM | ELECTRIC METER | — | BELGIUM BLOCK CURB |
| DMH | DRAINAGE/STORM MANHOLE | — | CHAIN LINK FENCE |
| SMH | SANITARY/SEWER MANHOLE | — | CLF |
| TMH | TELEPHONE MANHOLE | — | DEPRESSED CURB |
| EMH | ELECTRIC MANHOLE | — | EDGE OF CONC. |
| FOMH | FIBER OPTIC MANHOLE | — | EDGE OF PAVEMENT |
| MH | UNKNOWN MANHOLE | — | LANDSCAPED AREA |
| WMH | WATER MANHOLE | — | LANDSCAPED AREA |
| CO | CLEAN OUT | — | LANDSCAPED AREA |
| P | POST | — | LANDSCAPED AREA |
| V | VENT & NUMBER OF VENTS | — | LANDSCAPED AREA |



THIS SURVEY IS CERTIFIED TO:
MATTHEW A. MALLS
FIRST STATE BANK & TRUST COMPANY, INC.
PRINCETON PROMENADE, LLC
GOLDENEYE INVESTMENTS, LLC, A MISSOURI LIMITED LIABILITY COMPANY
COMMONWEALTH LAND TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B)(1), 7(C), 8, 9, 10, 13, 14, 15, 17, 18, 19 & 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 15, 2021.

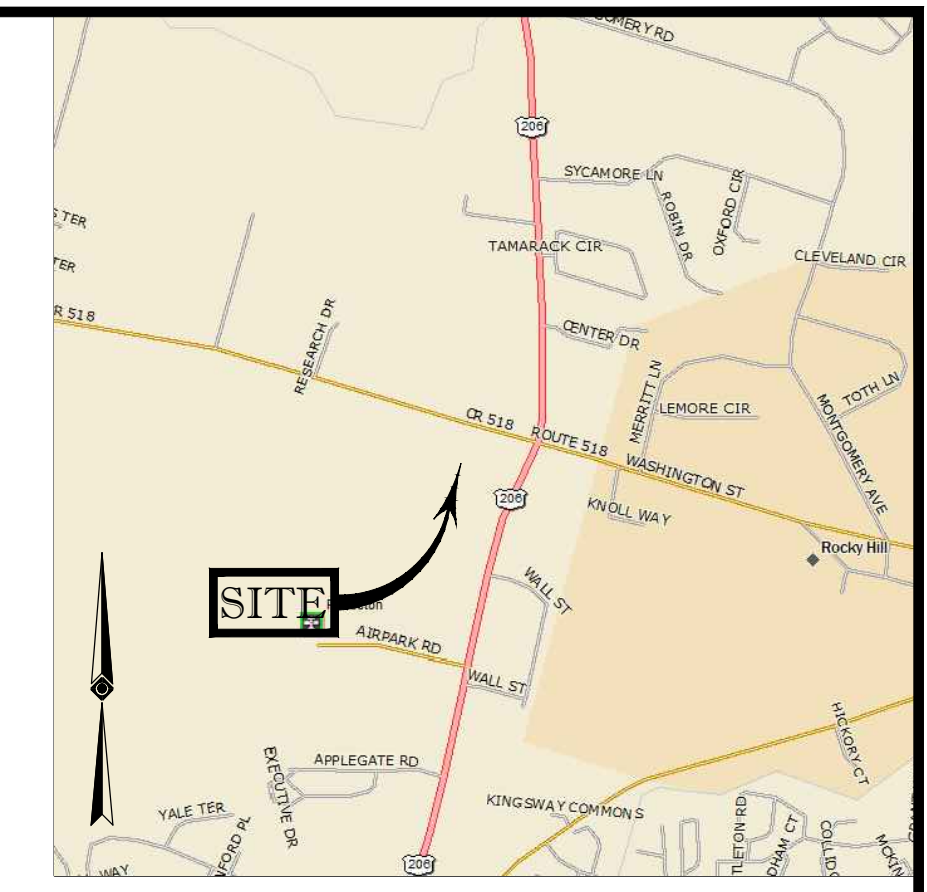
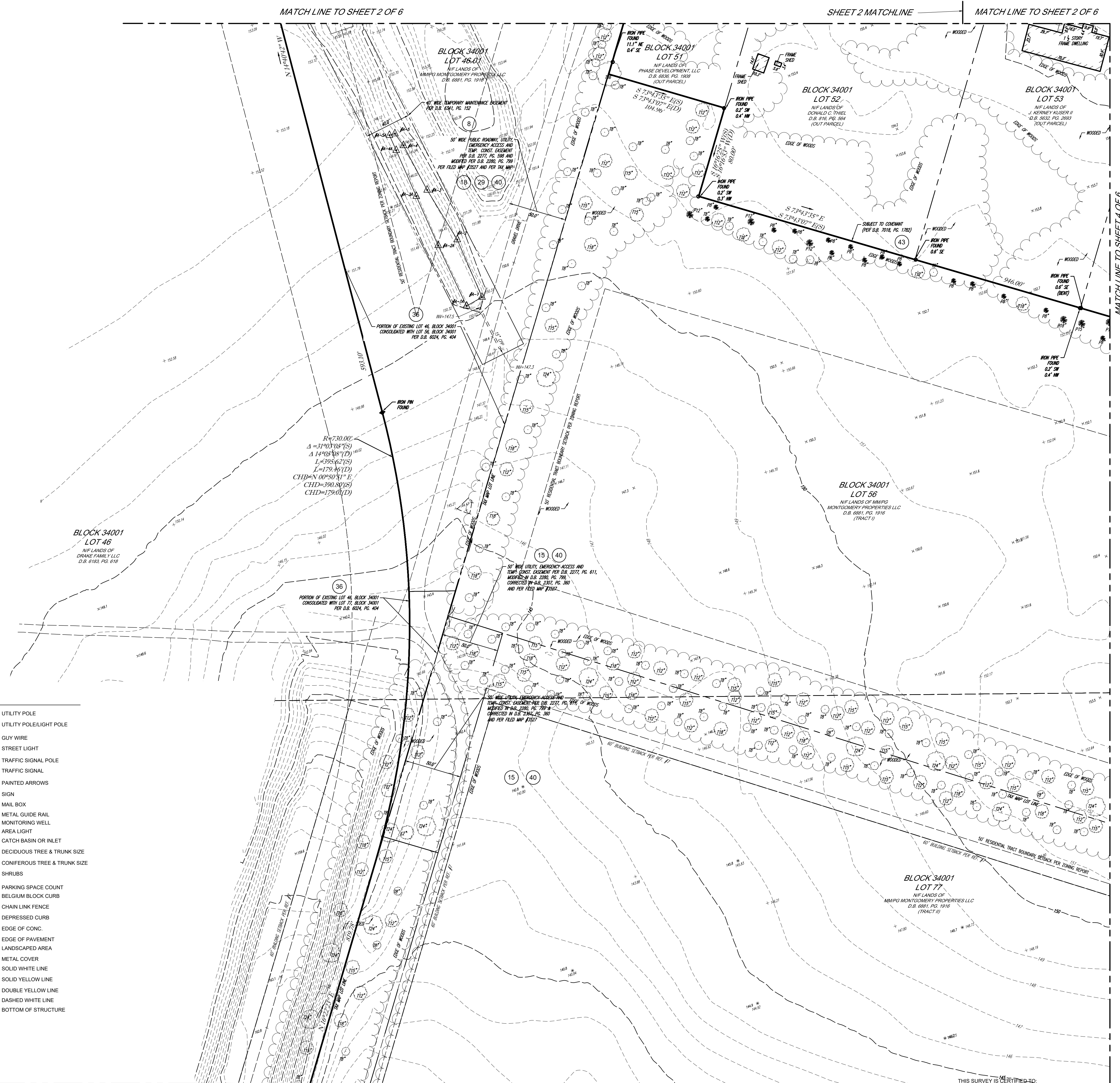
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JAMES D. SENS
NEW JERSEY PROFESSIONAL LAND SURVEYOR #242804322600
NEW JERSEY CERTIFICATE OF AUTHORIZATION #242804322600

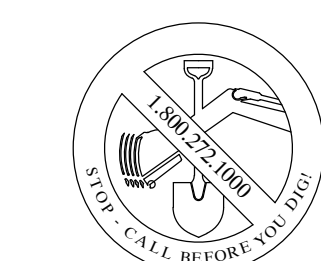
SEE SHEET 5 OF 6 FOR ZONING REPORT
SEE SHEET 6 OF 6 FOR NOTES & REFERENCES

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No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	DATE
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4	REVISE PER CLIENT COMMENTS	LOTS 46.01, 56, 77, 78 & 79, BLOCK 34001		
5	REVISE PER CLIENT COMMENTS	TOWNSHIP OF MONTGOMERY, SOMERSET COUNTY		
6	REVISE PER CLIENT COMMENTS	STATE OF NEW JERSEY		
7	REVISE PER CLIENT COMMENTS	CONTROL POINT ASSOCIATES, INC.		
8	REVISE PER CLIENT COMMENTS	30 INDEPENDENCE BOULEVARD, SUITE 100		
9	REVISE PER CLIENT COMMENTS	WARREN, NJ 07059		
10	REVISE PER CLIENT COMMENTS	WWW.CONTROLPOINTASSOCIATES.COM		
11	REVISE PER CLIENT COMMENTS	12-14-2021		
12	REVISE PER CLIENT COMMENTS	DATE		
13	REVISE PER CLIENT COMMENTS	SCALE		
14	REVISE PER CLIENT COMMENTS	FILE NO.		
15	REVISE PER CLIENT COMMENTS	DWG. NO.		
16	REVISE PER CLIENT COMMENTS	2		
17	REVISE PER CLIENT COMMENTS	OF		
18	REVISE PER CLIENT COMMENTS	6		

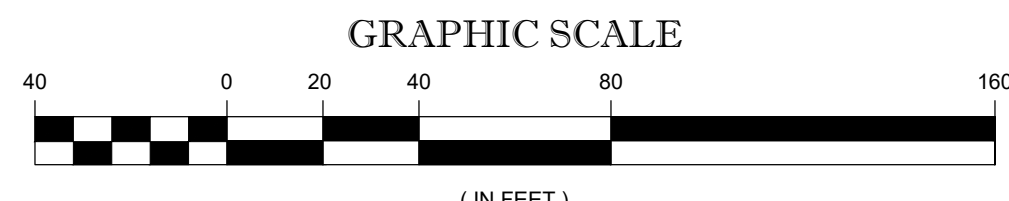
LEGEND			
	EXISTING CONTOUR		UTILITY POLE
	EXISTING SPOT ELEVATION		UTILITY POLE/LIGHT POLE
	EXIST. TOP OF CURB ELEVATION		GUY WIRE
	EXIST. GUTTER ELEVATION		STREET LIGHT
	EXIST. TOP OF WALL ELEVATION		TRAFFIC SIGNAL POLE
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	APPROX. LOC. UNDERGROUND GAS LINE		SIGN
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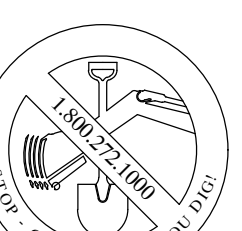


SEE SHEET 5 OF 6 FOR ZONING REPORT
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THIS SURVEY IS CERTIFIED TO: MATTHEW A. TALLS FIRST STATE BANK & TRUST COMPANY, INC. PRINCETON PROMENADE LLC GOLDENEYE INVESTMENTS, LLC, A MISSOURI LIMITED LIABILITY COMPANY COMMONWEALTH LAND TITLE INSURANCE COMPANY		1 REVISE PER CLIENT COMMENTS No. DESCRIPTION OF REVISION FIELD CREW DRAWN APPROVED DATE	
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NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL		FIELD CREW: S.B./T.H. DRAWN: C.W.F. REVIEWED: K.V.G. DATE: 11-11-2021 SCALE: 1"=40' FILE NO: 01-050276-04 DWO NO: 3 OF 6	
JAMES D. SENS NEW JERSEY PROFESSIONAL LAND SURVEYOR #242604322600 NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA27938600		12-14-2021 DATE	



NEW JERSEY STATE HIGHWAY U.S. ROUTE 206
(A.K.A. ROUTE 206)
(VARIABLE WIDTH PUBLIC R.O. MAP PER TAX MAP)
(TWO WAY TRAFFIC)

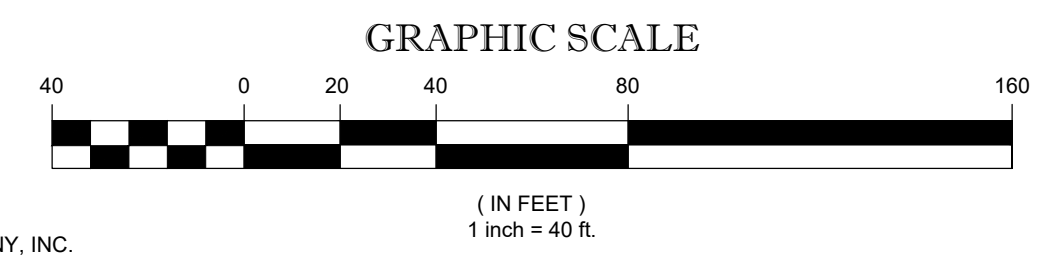


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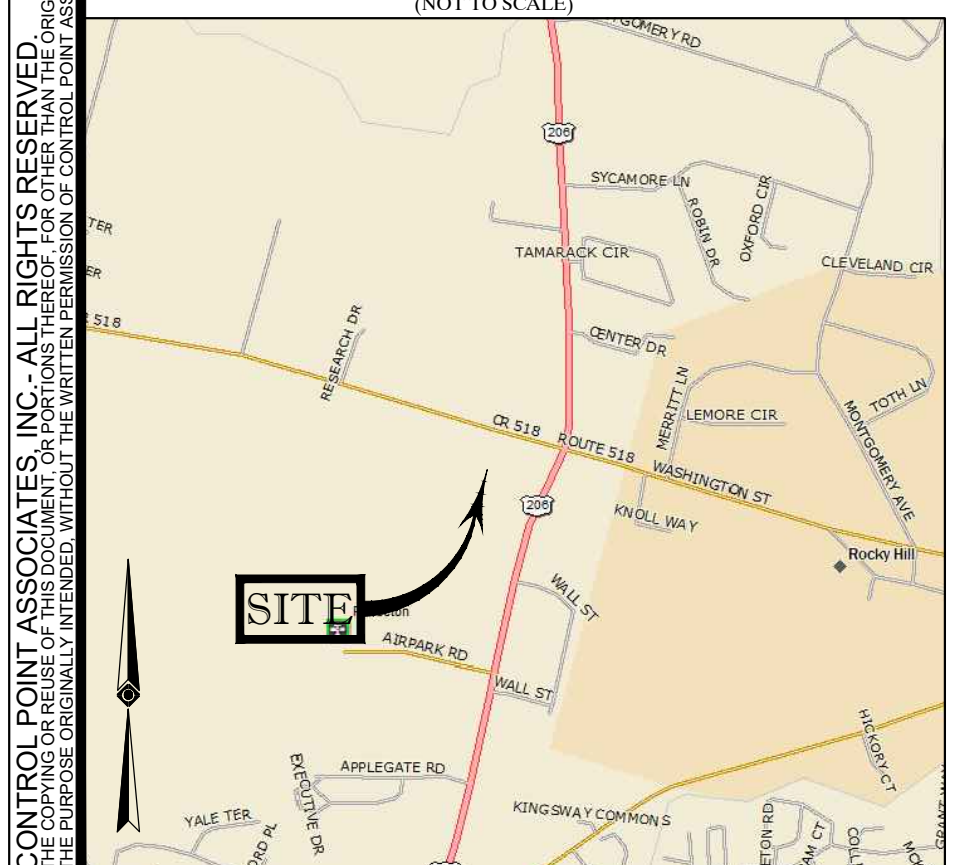
JAMES D. SENS
NEW JERSEY PROFESSIONAL LAND SURVEYOR #24260422600
NEW JERSEY CERTIFICATE OF AUTHORIZATION #24260422600

REVISE PER CLIENT COMMENTS		C.W.F.	J.D.S.	12-14-2021
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED
1	REVISE PER CLIENT COMMENTS			

ALTA/NSPS LAND TITLE SURVEY
LOTS 46.01, 56, 77, 78 & 79, BLOCK 34001
1200 ROUTE 206 & COUNTY ROUTE 518
LOTS 46.01, 56, 77, 78 & 79, BLOCK 34001
TOWNSHIP OF MONTGOMERY, SOMERSET COUNTY
STATE OF NEW JERSEY

CONTROL POINT ASSOCIATES, INC.
30 INDEPENDENCE BOULEVARD, SUITE 100
WARREN, NJ 07059
WWW.CONTROLPOINTASSOCIATES.COM

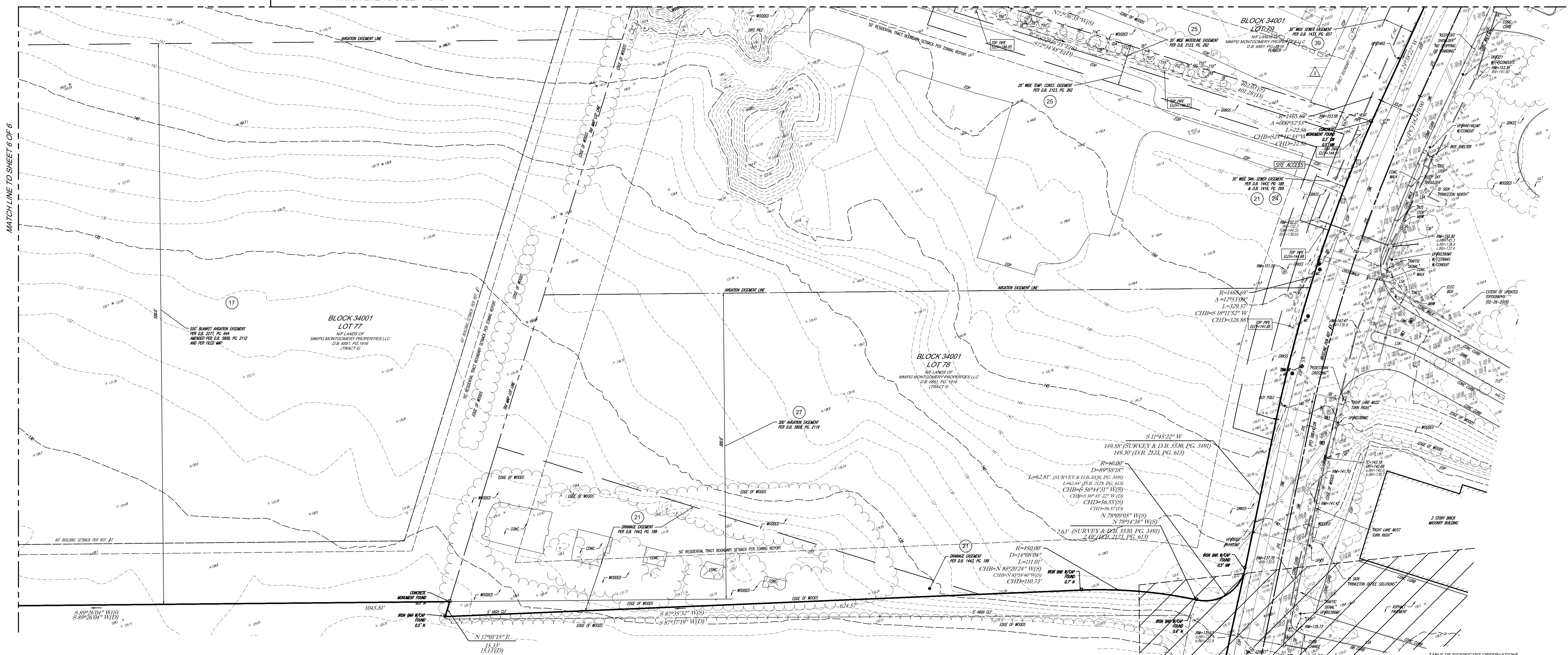
DATE: 12-14-2021
REVIEWED: K.V.G.
APPROVED: J.D.S.
DATE: 11-11-2021
SCALE: 1"=40'
FILE NO: 01-050276-04
DWG NO: 4 OF 6



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MATCH LINE TO SHEET 3 OF 6

MATCH LINE TO SHEET 4 OF 6



ZONING INFORMATION

14. Parking Requirements.

- (a) Non-residential Uses. (The Planning Board may approve a lesser number of spaces in consideration of shared parking strategies)

- (1) Retail sales and service: One (1) space/250 SF
- (2) Office: One (1) space/250 SF
- (3) Banks: One (1) space / 200 SF with 12 vehicle queue capacity for drive-through
- (4) Restaurants: One (1) space per every three (3) seats.
- (5) Hotels one (1) space per guest room; plus one (1) space for each employee working during peak-shift
- (6) Movie theaters: one (1) space for every four (4) seats and four (4) parking spaces for every bowling alley lane.

11. Non-Residential Development Regulations.

- (a) Area and spatial requirements:

- (1) Minimum distance between non-residential buildings is 20 feet.
- (2) Minimum distances from parking areas within the Promenade:
 - (i) Front of Building: 12 feet
 - (ii) Side of Building: 10 feet
 - (iii) Rear of Building: 10 feet
 - (iv) Front, side and rear distances from parking areas may be reduced to 5 feet as specifically approved by the Planning Board.
- (3) Maximum length of a building with access to a rear parking area: 250 feet.
- (4) Minimum building setback from the tract boundary: 50 feet
- (5) Minimum building setback from residential property line: 100 feet
- (6) Non-residential floor area regulations
 - (i) Minimum tenant area: 750 SF
 - (ii) Maximum tenant area: 25,000 SF
 - (iii) Maximum number of tenant areas of 25,000 SF: five (5)
 - (iv) Maximum floor area for hotel or supermarket: 70,000 SF
 - (v) Maximum floor area for movie theater: 70,000 SF, excluding the Marquee, indoor catwalk, attached outdoor eating area, and internal areas under stadium seating.

- (b) Building height requirements.

- (1) Maximum building height: 35 feet, except that:
 - (i) 15% of the overall length or width of a building may have a height of 40 feet; and
 - (ii) 5% of the overall length or width of a building may have a height of 50 feet for the purpose of incorporating decorative architectural features, such as clock towers, cornices, or cupolas.
- (2) Maximum building height of hotel and theater (subject to exemptions of Sec. 16-6.2.b regarding allowance for mechanical/utility housing and screening):
 - (i) 55 feet
 - (ii) Four (4) stories.
- (3) Maximum height of accessory building or structure: 15 feet
- (4) Building height exceptions. Mechanical/utility screening structures may exceed maximum permitted building height in accordance with Sec. 16-6.2.b.

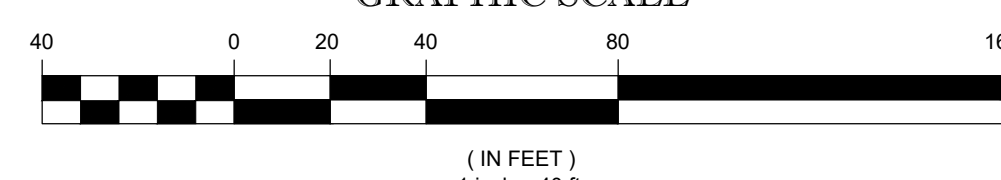
BLOCK 34001
LOT 57
165 LANDS OF
PRINCETON AERO CORP.
D.B. 1534, PG. 321

LEGEND			
	EXISTING CONTOUR		GAS VALVE
	EXISTING SPOT ELEVATION		ELECTRIC METER
	EXIST. TOP OF CURB ELEVATION		DRAINAGE/STORM MANHOLE
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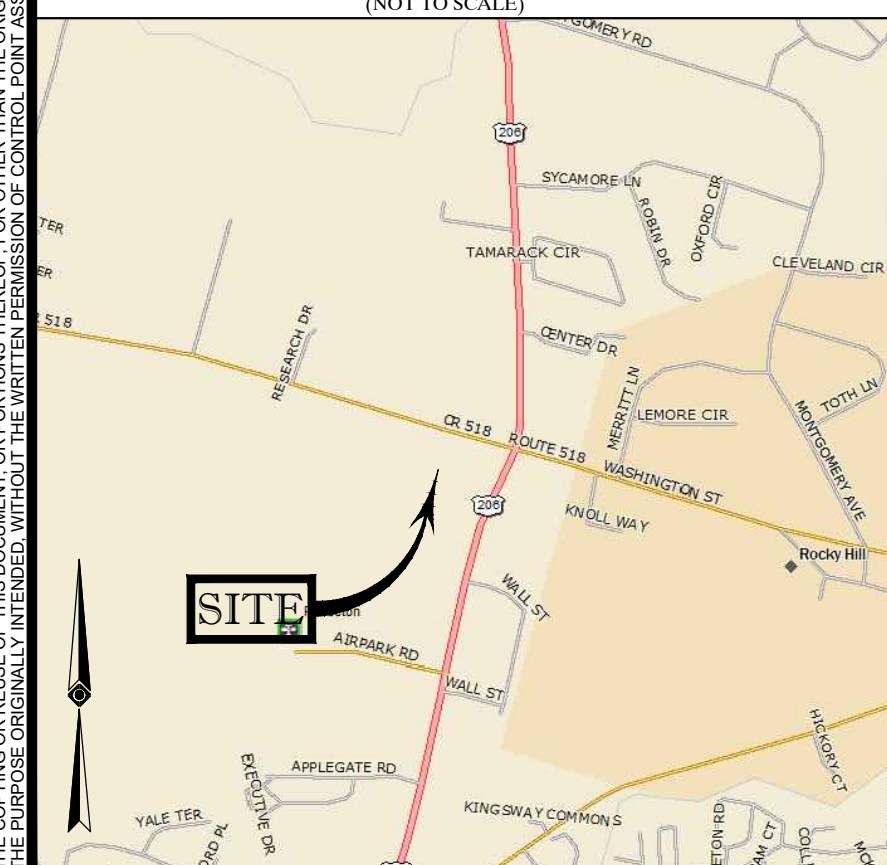


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GRAPHIC SCALE



VICINITY MAP
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(NOT TO SCALE)



NEW JERSEY STATE HIGHWAY U.S. ROUTE 206
(VARIABLE WIDTH PER NJ DOT PER TAX MAP)
(TWO WAY TRAFFIC)

TABLE OF SIGNIFICANT OBSERVATIONS

1. CONCRETE CURB AND PAVEMENT EXTENDING FROM SURVEYED PROPERTY ONTO THE RIGHT OF WAY OF N.J.S.H. ROUTE 206 TO THE SOUTHEAST
2. OVERHEAD WIRES AND GUY WIRE EXTENDING ONTO SURVEYED PROPERTY FROM THE RIGHT OF WAY OF N.J.S.H. ROUTE 206 TO THE SOUTHEAST
3. EDGE OF PAVEMENT EXTENDING FROM SURVEYED PROPERTY ONTO THE RIGHT OF WAY OF N.J.S.H. ROUTE 206 TO THE SOUTHEAST
4. EDGE OF GRAVEL PAVEMENT EXTENDING FROM SURVEYED PROPERTY ONTO PROPERTY ADJACENT TO THE SOUTH
5. EDGE OF GRAVEL PAVEMENT EXTENDING FROM SURVEYED PROPERTY ONTO PROPERTY ADJACENT TO THE WEST
6. EDGE OF FRAME SHED EXTENDING ONTO SURVEYED PROPERTY FROM PROPERTY ADJACENT TO THE WEST
7. CURB AND CROSSWALK EXTENDING ONTO SURVEYED PROPERTY FROM THE RIGHT OF WAY OF GEORGETOWN-FRANKLIN TURNPIKE TO THE NORTH
8. EDGE OF GRAVEL PAVEMENT EXTENDING FROM SURVEYED PROPERTY ONTO THE RIGHT OF WAY OF GEORGETOWN-FRANKLIN TURNPIKE TO THE NORTH
9. NUMEROUS ASPHALT DRIVEWAYS EXTENDING FROM SURVEYED PROPERTY ONTO THE RIGHT OF WAY OF GEORGETOWN-FRANKLIN TURNPIKE TO THE NORTH

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE PROCESS OF CONDUCTING THE FIELD WORK. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

SEE SHEET 6 OF 6 FOR NOTES & REFERENCES

THIS SURVEY IS CERTIFIED TO:
MATTHEW A. MALLS
FIRST STATE BANK & TRUST COMPANY, INC.
PRINCETON PROMENADE, LLC
GOLDENEYE INVESTMENTS, LLC, A MISSOURI LIMITED LIABILITY COMPANY
COMMONWEALTH LAND TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B)(1), 7(C), 8, 9, 10, 13, 14, 15, 17, 18, 19 & 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 15, 2021.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL

JAMES D. SENS

NEW JERSEY PROFESSIONAL LAND SURVEYOR #242604322600
NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA27938600

12-14-2021
DATE

1	REVISION PER CLIENT COMMENTS	C.W.F.	J.D.S.	12-14-2021
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	DATE
1	10-15-2021	ALTA/NSPS LAND TITLE SURVEY		
2	21-42	LOTS 46.01, 56, 77, 78 & 79, BLOCK 34001		
3	91	1200 ROUTE 206 & COUNTY ROUTE 518		
4		LOTS 46.01, 56, 77, 78 & 79, BLOCK 34001		
5		TOWNSHIP OF MONTGOMERY, SOMERSET COUNTY		
6		STATE OF NEW JERSEY		
7		CONTROL POINT ASSOCIATES, INC.		
8		30 INDEPENDENT BOULEVARD, SUITE 100		
9		WARREN, NJ 07059		
10		WWW.CONTROLPOINT.COM		
11		11-11-2021		
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EXHIBIT A
LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE TOWNSHIP OF MONTGOMERY, COUNTY OF SOMERSET, STATE OF NEW JERSEY AND IS DESCRIBED AS FOLLOWS:

TRACT ONE (For informational purposes only. Tax Lot 56, Block 34001):
BEGINNING at a capped iron pin found in the southerly sideline of Georgetown Franklin Turnpike (County Route 518), said point being where same is intersected by the centerline of the dividing line between Lot 56 and 80 in Block 34001 on the tax map of the Township of Montgomery, Somerset County, New Jersey, said point of beginning also being located the following two courses from the intersection of the southerly sideline of Georgetown-Franklin Turnpike, 16.50 feet from centerline, with the westerly sideline of New Jersey State Highway Route 206 as described in Deed Book 1333, Page 603;

(2) North 66 degrees 23 minutes 30 seconds West a distance of 98.79 feet to a point, thence

(3) South 26 degrees 21 minutes 30 seconds West a distance of 322.52 feet to a point in the northerly line of Lot 78, thence

(4) Along the northerly line of said Lot 78 and continuing along the northerly line of Lot 77, North 66 degrees 23 minutes 00 seconds West a distance of 1,322.87 feet to a point, thence

(5) North 22 degrees 45 minutes 00 seconds East a distance of 491.53 feet to a point, thence

(6) South 67 degrees 30 minutes 00 seconds East a distance of 104.96 feet to a point, thence

(7) South 22 degrees 30 minutes 00 seconds West a distance of 86.00 feet to a point, thence

(8) South 67 degrees 30 minutes 00 seconds East a distance of 946.00 feet to an iron pipe found and southerly corner to Lot 81 in Block 34001, thence

(9) Along the easterly line of said Lot 81, North 22 degrees 30 minutes 00 seconds East a distance of 300.00 feet to a point in the southerly sideline of Georgetown-Franklin Turnpike, 33 feet from centerline, thence

(10) Along said sideline, South 57 degrees 30 minutes 00 seconds East a distance of 400.00 feet to the point and place of BEGINNING.

TOGETHER WITH the beneficial easement rights of Ingress/Egress as set forth in Deed Book 1333, Page 603.

TOGETHER WITH the beneficial easement rights to sanitary sewer easement as set forth in Deed Book 1333, Page 603.

TRACT TWO (For informational purposes only. Tax Lot 78, Block 34001):
BEGINNING at a point in the southerly line of Lot 56, Block 34001, said point being at the northwesterly corner of Lot 78, Block 34001 (as shown on the Montgomery Township Tax Records) said point also being measured North 72 degrees 31 minutes 35 seconds West 726.18 feet from concrete monument in the westerly line of New Jersey State Highway Route 206 (66 foot wide), said concrete monument also being the southerly corner of Lot 78, Block 34001 and running; thence

(1) Along the westerly line of said Lot 78, Block 34001 South 17 degrees 01 minutes 15 seconds East 719.91 feet to a point in the northerly line of Lot 57, Block 34001, thence

(2) Along said northerly line of said Lot 57, Block 34001 South 89 degrees 26 minutes 04 seconds West 1,045.81 feet to a point in the southerly corner of said Lot 46, Block 34001, thence

(3) Along the easterly line of said Lot 46, Block 34001 North 16 degrees 22 minutes 23 seconds East 1,042.47 feet to a point in the southerly corner of said Lot 56, Block 34001, thence

(4) Along the said southerly line of Lot 56, Block 34001 South 72 degrees 36 minutes 35 seconds East 1,008.68 feet to the point and place of BEGINNING.

TOGETHER WITH the beneficial easement rights of Ingress/Egress as set forth in Deed Book 2277, Page 598 and as modified by Deed Book 2280 Page 799.

TRACT THREE (For informational purposes only. Tax Lot 78, Block 34001):
BEGINNING at a point being the intersection of the westerly sideline of New Jersey State Highway Route 206 (66 feet wide) with the most southeasterly corner of Lot 56A, lands of Princeton Volkswagen, running; thence

(1) Along the westerly sideline of Route 206 in a southerly direction on a curve to the left, having a radius of 1,465.69 feet and an arc length of 307.06 feet to a point of tangency; thence

(2) Continuing along same, South 18 degrees 23 minutes 07 seconds West, a distance of 149.30 feet to a point of curve, thence along the northerly line of Lot 57C, lands of Reynolds and Lavin Associates, the following four courses:

(3) In a northerly direction on a curve to the right having a radius of 40.00 feet and an arc length of 62.84 feet to a point of tangency; thence

(4) North 71 degrees 36 minutes 53 seconds West, a distance of 2.49 feet to a point of curve; thence

(5) In a northerly direction on a curve to the left, having a radius of 450.00 feet, an arc length of 111.01 feet to a point of tangency; thence

(6) North 85 degrees 44 minutes 56 seconds West, a distance of 624.57 feet to a point and new corner of Lot 57C, thence

(7) Along the new easterly line of Lot 57C, North 23 degrees 39 minutes 00 seconds East, a distance of 729.54 feet to a point in the southerly line of Lot 56, lands of Dorothy Partridge, thence

(8) Along the aforementioned line and along the southerly line of Lot 56A, South 66 degrees 21 minutes 00 seconds East, a distance of 726.71 feet to the point and place of BEGINNING.

TRACT ONE, TRACT TWO AND TRACT THREE together being further described as one tract as follows:
BEGINNING at a capped pin found at the most Northeasterly corner of Lot 56 in Block 34001 as located on the southerly Right of Way line of Georgetown Franklin Turnpike (aka County Route 518), being 33 feet from the centerline said point having New Jersey Plane Coordinate NAD83 values of N=167856.75 and E=400566.87, said point of beginning also being located the following 2 courses from the intersection of the Southerly sideline of Georgetown-Franklin Turnpike, 16.50 feet from the centerline with the westerly sideline of New Jersey State Highway Route 206 as described in Deed Book 1333, Page 603; thence

(a) Along said 16.50 feet sideline of Georgetown-Franklin Turnpike North 73 degrees 43 minutes 07 seconds West a distance of 405.37 feet to a point, thence

(b) At right angles to said sideline South 16 degrees 16 minutes 53 seconds West a distance of 16.50 feet to a point, and from said point of beginning, running;

(1) Leaving said Right of Way and along the common line between Lots 56 and 80 in Block 34001, South 16 degrees 16 minutes 53 seconds West a distance of 417.43 feet to a corner on the common line with Lot 79 in Block 34001, thence

(2) Along the common line with Lot 79, North 72 degrees 36 minutes 37 seconds West a distance of 98.79 feet to a corner; thence

(3) Along the northerly line of Lot 79, South 20 degrees 8 minutes 23 seconds West a distance of 322.52 feet to a corner on the common line with Lot 78 in Block 34001, thence

(4) Along the common line between Lots 78 and 79, South 72 degrees 36 minutes 40 seconds East a distance of 401.29 feet to a monument found for a corner on the Westerly Right of Way of U.S. Highway Route 206 (66 foot wide ROW), thence

(5) Along said Westerly ROW in a Southerly direction along a curve to the left having a radius of 1,465.69 feet and an arc length of 307.06 feet said curve having a chord bearing South 17 degrees 45 minutes 28 seconds West and a chord distance of 306.50 feet to a point of tangency; thence

(6) Continuing along said sideline South 11 degrees 45 minutes 22 seconds West a distance of 149.30 feet to a capped iron pin found, thence leaving said Right of Way and along common lines between Lots 57 and 78 in Block 34001 the following five (5) courses, thence

(7) In a Southerly direction along a curve to the right having a radius of 40.00 feet an arc length of 62.83 feet said curve having a chord bearing South 64 degrees 45 minutes 22 seconds West and a chord distance of 56.5 feet to a capped iron pin found at point of tangency; thence

(8) North 78 degrees 14 minutes 38 seconds West a distance of 2.49 feet to a point of curvature; thence

(9) In a Northerly direction along a curve to the left having a radius of 450.00 feet an arc length of 111.01 feet said curve having a chord bearing North 85 degrees 18 minutes 40 seconds West and a chord distance of 110.73 feet to a capped iron pin found at point of tangency; thence

(10) South 87 degrees 37 minutes 19 seconds West a distance of 624.57 feet to the Southwest corner of Lot 78, thence

(11) North 17 degrees 1 minute 15 seconds East a distance of 15.13 feet to a concrete monument found at the Southeast corner of Lot 77, Block 34001, thence

(12) Along the common line between Lots 57 and 77, South 89 degrees 26 minutes 4 seconds West a distance of 1,045.81 feet to the Southwest corner of Lot 77, thence

(13) Along the Westerly line of Lot 78, North 16 degrees 24 minutes 56 seconds East a distance of 1,042.26 feet to the Southwest corner of Lot 56 in Block 34001, thence

(14) Along the Westerly line of Lot 56, North 16 degrees 31 minutes 53 seconds East a distance of 491.53 feet to a common corner between Lots 51 and 56 in Block 34001, thence

(15) Along the common line between Lots 51 and 56, South 73 degrees 43 minutes 7 seconds East a distance of 104.96 feet to a corner on the common line with Lot 52 in Block 34001, thence

(16) Along the common line with Lot 52, South 16 degrees 16 minutes 53 seconds West a distance of 300.00 feet to a corner on the common line of 86.00 feet to a corner; thence

(17) Along the common line between Lots 52, 53, 54, 55, 56, 82 and 81 in Block 34001, South 73 degrees 43 minutes 7 seconds East a distance of 946.00 feet to an iron pipe found for a corner; thence

(18) Along a common line between Lots 56 and 81, North 16 degrees 16 minutes 53 seconds East a distance of 300.00 feet to a corner on the Southerly Right of Way of Georgetown Franklin Turnpike; thence

(19) Along the Southerly Right of Way being 33 feet from centerline South 73 degrees 43 minutes 7 seconds East a distance of 400.00 feet to the point and place of BEGINNING.

TRACT FOUR - PARCEL A (For informational purposes only. Tax Lot 46.01, Block 34001):
BEGINNING at a concrete monument set on the southerly line of Georgetown - Franklin Turnpike (aka A.A. Bavenburg - Rocky Hill Road, aka K.A. County Route 518 - 66 foot wide Right-Of-Way), said point being located the following 2 courses from a concrete monument set at the northerly corner of Lot 46, Block 34001:

(A) Along a curve to the left, having a radius of 3581.62 feet, turning a central angle of 02 degrees 24 minutes 20 seconds, an arc length of 150.37 feet, the chord of which bears South 72 degrees 31 minutes 25 seconds East, a chord distance of 150.36 feet to an iron bar with cap set, thence;

(B) South 73 degrees 43 minutes 35 seconds East, a distance of 230.92 feet to the point of BEGINNING and from said beginning point running, thence;

(1) Along the southerly line of aforementioned Georgetown - Franklin Turnpike, South 73 degrees 43 minutes 35 seconds East, a distance of 411.64 feet to a point at the northerly corner of Lot 51 (now or formerly lands of Gerald L. Cooper - Deed Book 1951 page 568), Block 34001, thence;

(2) Along the westerly line of said Lot 51, Block 34001, South 16 degrees 16 minutes 25 seconds West, a distance of 220.00 feet to a point on the northerly corner of Lot 56 (now or formerly lands of COSEM Group, LLC - Deed Book 5530 page 3464 - Tract 1), Block 34001, thence;

(3) Along the westerly line of said Lot 56, Block 34001, South 16 degrees 31 minutes 25 seconds West, a distance of 491.53 feet to a point at the existing northerly corner of Lot 77 (now or formerly lands of COSEM Group, LLC - Deed Book 5530 page 3460 - Tract 2), Block 34001, thence; through Lot 46 (now or formerly lands of John W. Drake - Deed Book 2286 page 508), Block 34001 the following 4 courses;

(A) South 89 degrees 26 minutes 04 seconds West, a distance of 33.21 feet to a point, thence;

(B) Along a curve to the left, having a radius of 730.00 feet, turning a central angle of 14 degrees 05 minutes 08 seconds, an arc length of 170.46 feet, the chord of which bears North 07 degrees 38 minutes 08 seconds West, a chord distance of 170.01 feet to an iron bar with cap set, thence;

(C) North 14 degrees 40 minutes 42 seconds West, a distance of 593.01 feet to an iron bar with cap set, thence;

(D) North 16 degrees 08 minutes 36 seconds East, a distance of 48.85 feet to the point and place of BEGINNING.

BEING known and designated as a "Portion of Existing Lot 46 to be consolidated with Lot 56, Block 34001" as shown on a map entitled "Minor Subdivision Plat, Madison Marquette, Georgetown-Franklin Turnpike, Lots 46, 56 & 77, Block 34001, Township of Montgomery, Somerset County, New Jersey" prepared by Control Point Associates, Inc. dated May 31, 2008 and last revised September 7, 2008.

TRACT FOUR - PARCEL B (For informational purposes only. Tax Lot 46.01, Block 34001):
BEGINNING at a point at the northerly corner of Lot 77 (N/F Lands of COSEM Group, L.L.C. - Deed Book 5530, Page 3460 - Tract 2), Block 34001, said point being the westerly corner of Lot 56 (N/F Lands of COSEM Group, L.L.C. - Deed Book 5530, Page 3464 - Tract 1), Block 34001, said point also being located the following four courses from a concrete monument set at the northerly corner of Lot 46 (N/F Lands of John W. Drake - Deed Book 2286, Page 508), Block 34001:

(A) Along a curve to the left, having a radius of 3581.62 feet, turning a central angle of 02 degrees 24 minutes 20 seconds, an arc length of 150.37 feet, the chord of which bears south 72 degrees 31 minutes 25 seconds east, a chord distance of 150.36 feet to an iron bar with cap set, thence;

(B) South 73 degrees 43 minutes 35 seconds east, a distance of 642.62 feet to a point at the northerly corner of Lot 51, Block 34001, thence;

(C) Along the westerly line of said Lot 51, Block 34001, South 16 degrees 16 minutes 25 seconds west, a distance of 220.00 feet to a point at the northerly corner of Lot 56, Block 34001, thence;

(D) Along the westerly line of said Lot 56, Block 34001, South 16 degrees 31 minutes 25 seconds west, a distance of 491.53 feet to the point of beginning and from said beginning point running thence;

(1) Along the westerly line of Lot 77, Block 34001, South 16 degrees 31 minutes 25 seconds west, a distance of 222.69 feet to an iron bar with cap set, thence; through Lot 46, Block 34001 the following two (2) courses:

(A) South 89 degrees 26 minutes 04 seconds West, a distance of 33.21 feet to a point and place of beginning.

This page is only a part of a 2016 ALTA/B Commitment for Title Insurance issued by Commonwealth Land Title Insurance Company. This Commitment is not valid without the Notice, the Commitment to Issue Policy, the Commitment Conditions, Schedule A, Schedule B, Part I - Requirements, Schedule B, Part II-Exceptions, and a counter-signature by the Company or its issuing agent that may be in electronic form.

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(2) Along a curve to the left, having a radius of 730.00 feet, turning a central angle of 16 degrees 57 minutes 57 seconds, an arc length of 216.62 feet, the chord of which bears north 07 degrees 53 minutes 25 seconds east, a chord distance of 215.37 feet to a point, thence;

(3) North 89 degrees 26 minutes 04 seconds east, a distance of 33.21 feet to a point and place of beginning.

This description is prepared with reference to a map entitled "Minor Subdivision Plat, Madison Marquette, Georgetown-Franklin Turnpike, Lots 46, Block 34001, Township of Montgomery, Somerset County, State of New Jersey," prepared by Control Point Associates, Inc. dated May 31, 2008, last revised November 8, 2008 as revision number 4, about to be filed in the Somerset County Clerk's Office.

TOGETHER WITH the beneficial easement rights in Temporary Construction Easement as set forth in Deed Book 6024 Page 414.

TRACT FIVE (For informational purposes only. Tax Lot 79, Block 34001):
ALL that certain tract or parcel of land and premises, situate, lying and being in the Township of Montgomery, in the County of Somerset, and State of New Jersey, more particularly described as follows:

BEGINNING at a monument found at the most southeasterly corner of Lot 79 in Block 34001 as located on the westerly sideline of U.S. Highway Route 206, said corner being located 22.03 feet southerly from a point of curvature being 33 feet westerly of highway centerline P.C. Station 182 + 19.90 and from said point of beginning running thence

(1) Leaving said sideline and along the common line between Lots 78 and 79 in Block 34001 North 66 degrees 21 minutes 00 seconds West a distance of 401.43 to an iron pipe found for a common corner between Lots 56 and 79 in Block 34001, thence

(2) Along the common line between Lots 56 and 79, North 26 degrees 24 minutes 00 seconds East a distance of 322.52 feet to a corner, thence

(3) Along the common line between Lots 56, 79 and 80 in Block 34001, South 66 degrees 21 minutes 00 seconds East a distance of 428.77 feet to a corner on the westerly sideline of U.S. Highway Route 206, thence

(4) Along the aforementioned sideline South 31 degrees 15 minutes 00 seconds West a distance of 302.37 feet to the aforementioned point of curvature opposite highway centerline P.C. Station 182 + 19.90, thence

(5) Continuing along the aforementioned sideline in a southerly direction along a curve to the left having a radius of 1,465.69 feet an arc length of 22.03 feet, said curve having a chord distance of 1,465.69 feet an arc length of 22.03 feet to the point and place of BEGINNING.

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Said premises being also described as follows:

BEGINNING at the intersection of the westerly line of New Jersey State Highway U.S. Route 206 (F.K.A. Route 16 - variable width right-of-way) with the dividing line between Lot 80 and Lot 79, Block 34001, said point also being the following 2 courses from the point formed by the intersection of the westerly line of New Jersey State Highway U.S. Route 206 with the southerly line of Georgetown - Franklin Turnpike:

(A) Along a curve to the right, having a radius of 1240.57 feet, turning a central angle of 07 degrees 18 minutes 36 seconds, an arc length of 158.27 feet, the chord of which bears South 20 degrees 59 minutes 04 seconds West, a chord distance of 158.17 feet to a point of tangency, thence;

(B) South 24 degrees 38 minutes 22 seconds West, a distance of 302.23 feet to a point of curvature, thence;

(2) Along a curve to the left, having a radius of 1,465.69 feet, turning a central angle of 00 degrees 52 minutes 55 seconds, an arc length of 2.56 feet, the chord of which bears South 54 degrees 11 minutes 55 seconds West, a chord distance of 22.56 feet to a point of non-tangency; thence;

(3) Along the dividing line between Lot 79 and Lot 78, Block 34001, North 72 degrees 36 minutes 35 seconds West, a distance of 402.03 feet to a point, thence

(4) Along the dividing line between Lot 79 and Lot 56, Block 34001, North 20 degrees 07 minutes 55 seconds East, a distance of 322.52 feet to a point, thence;

(5) Along the common dividing line between Lots 79, 56 and 80, Block 34001, South 72 degrees 37 minutes 05 seconds East, a distance of 427.41 feet to the point and place of BEGINNING.

BEING ALSO known and AS REPORTED FOR INFORMATIONAL PURPOSES ONLY:

Block 34001, Lot 46.01, 56, 77, 78 & 79, on the official tax map of the Township of Montgomery, County of Somerset, State of New Jersey.

THE LAND SHOWN ON THIS SURVEY IS THE SAME AS THAT DESCRIBED TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY COMMONWEALTH LAND TITLE SURVEY, MONTGOMERY COUNTY, STATE OF NEW JERSEY, WITH AN EFFECTIVE DATE OF OCTOBER 8, 2021.

NOTES:

- PROPERTY KNOWN AS LOTS 46.01, 56, 77, 78 & 79, BLOCK 34001 AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF MONTGOMERY, SOMERSET COUNTY, NEW JERSEY, SHEET 61.
- AREA = 2,332.373 S.F. OR 53.544 ACRES.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM.
QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY, NOT FIELD VERIFIED.
QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL, SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY COMMONWEALTH LAND TITLE COMPANY, LLC, FILE NO. 21-1-1018, WITH AN EFFECTIVE DATE OF OCTOBER 8, 2021. WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR:
 - TEMPORARY MAINTENANCE EASEMENT AGREEMENT BY AND BETWEEN MADISON/COSEM, LLC AND SHARBELL PLANSBORO, INC. RECORDED AUGUST 15, 2010 IN DEED BOOK 6341 PAGE 1932, AMENDMENT TO EASEMENT AGREEMENT RECORDED APRIL 21, 2013 IN DEED BOOK 6622 PAGE 1218 AND SECOND AMENDMENT TO EASEMENT AGREEMENT RECORDED JUNE 23, 2016 IN DEED BOOK 6881 PAGE 1901. - LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT
 - TERMS AND CONDITIONS OF BENEFICIAL EASEMENTS AS SET FORTH IN DEED BOOK 1333 PAGE 603. (AFFECTS TRACT ONE) - SHOWN HEREON
 - 5 FOOT WATERLINE EASEMENT AND 25 FOOT WIDE TEMPORARY CONSTRUCTION EASEMENT AS SET FORTH IN DEED BOOK 2127 PAGE 332. (AFFECTS TRACT ONE) - SHOWN HEREON
 - ACCESS EASEMENTS AS SET FORTH IN DEED BOOK 1491 PAGE 895. (AFFECTS TRACT ONE) - SHOWN HEREON
 - EASEMENT AS SET FORTH IN DEED BOOK 1249 PAGE 105. (AFFECTS TRACT TWO) - SHOWN HEREON
 - EASEMENTS AS SET FORTH IN DEED BOOK 2277 PAGE 611 AND MODIFIED IN DEED BOOK 2280 PAGE 799 AND CORRECTED IN DEED BOOK 2307 PAGE 380. (AFFECTS TRACT TWO) - SHOWN HEREON
 - EASEMENT AS SET FORTH IN DEED BOOK 2277 PAGE 620. (AFFECTS TRACT TWO) - SHOWN HEREON
 - DEED OF AVIGATION EASEMENT AS SET FORTH IN DEED BOOK 2277 PAGE 644 AND AMENDMENT TO DEED OF AVIGATION EASEMENT DATED SEPTEMBER 23, 2005 RECORDED OCTOBER 5, 2005 IN DEED BOOK 5808 PAGE 2112. (AFFECTS TRACT TWO) - SHOWN HEREON
 - EASEMENT FOR ACCESS AND UTILITIES AS SET FORTH IN DEED BOOK 2277 PAGE 598 AND AS MODIFIED BY DEED BOOK 2280 PAGE 799. (AFFECTS TRACT TWO AND TRACT FOUR) - SHOWN HEREON
 - UTILITY EASEMENT AS SET FORTH IN DEED BOOK 1192 PAGE 285. (AFFECTS TRACT THREE) - LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT. EXISTING POLES, WIRES AND APPURTENANCES SHOWN HEREON.
 - DRAINAGE EASEMENT, SEWER EASEMENT AND SIGHT TRIANGLE EASEMENT AS SET FORTH IN DEED BOOK 1443 PAGE 189. (AFFECTS TRACT THREE) - SHOWN HEREON
 - UTILITY EASEMENT AS SET FORTH IN DEED BOOK X-15 PAGE 21. (AFFECTS TRACT THREE) - LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT. EXISTING POLES, WIRES AND APPURTENANCES SHOWN HEREON.
 - SLOPE MAINTENANCE RIGHTS GRANTED TO THE STATE OF NEW JERSEY AS SET FORTH IN DEED BOOK Y-20 PAGE 69. (AFFECTS TRACT THREE AND TRACT FIVE) - LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT
 - SEWER EASEMENT AS SET FORTH IN DEED BOOK 1416 PAGE 269. (AFFECTS TRACT THREE) - SHOWN HEREON
 - EASEMENT AS SET FORTH IN DEED BOOK 2123 PAGE 262. (AFFECTS TRACT THREE) - SHOWN HEREON
 - DEED OF AVIGATION EASEMENT DATED SEPTEMBER 23, 2005 RECORDED OCTOBER 5, 2005 IN DEED BOOK 5808 PAGE 2119. (AFFECTS TRACT THREE) - SHOWN HEREON
 - 50 FOOT WIDE PUBLIC ROADWAY, UTILITY, EMERGENCY ACCESS EASEMENT AS SHOWN ON THE TAX ASSESSMENT MAP. (AFFECTS TRACT FOUR) - SHOWN HEREON
 - EASEMENTS AND RESTRICTIONS IN DEED OF AVIGATION EASEMENT AS SET FORTH IN DEED BOOK 2277, PAGE 626, DEED BOOK 2277, PAGE 632 AND DEED BOOK 2277, PAGE 638 AND AMENDMENT TO DEED OF AVIGATION EASEMENT DATED SEPTEMBER 23, 2005 AND RECORDED IN DEED BOOK 5986, PAGE 3323. (AFFECTS TRACT FOUR) - NOT ON SURVEYED PROPERTY
 - TERMS, CONDITIONS, EASEMENTS AND PROVISIONS, INCLUDING BUT NOT LIMITED TO MERGER PROVISIONS, OF THE TOWNSHIP OF MONTGOMERY PLANNING BOARD RESOLUTION FOR MINOR SUBDIVISION APPROVAL FOR BLOCK 34001 LOT 46, APPLICATION PB-10-06, ADOPTED AUGUST 14, 2006. (AFFECTS TRACT FOUR) - NOT A SURVEY RELATED MATTER
 - TERMS, CONDITIONS, RESERVATIONS AND PROVISIONS OF TEMPORARY CONSTRUCTION EASEMENT AS SET FORTH IN DEED BOOK 6024 PAGE 414. (AFFECTS TRACT FOUR) - EXPIRED TEMPORARY GRADING EASEMENT ON LOT 46, NOT SHOWN
 - MINOR SUBDIVISION DEEDS AS SET FORTH IN DEED BOOK 5966 PAGE 3308, DEED BOOK 5966 PAGE 3316 AND CORRECTIVE DEED IN DEED BOOK 6024 PAGE 404. (AFFECTS TRACT FOUR) - SHOWN HEREON
 - EASEMENTS AS SET FORTH IN DEED BOOK 1433 PAGE 657. (AFFECTS TRACT FIVE) - SHOWN HEREON
 - ALL MATTERS SHOWN ON A CERTAIN MAP ENTITLED "FINAL PLAT PREPARED FOR PRINCETON AIRPORT, BLOCK 34001 LOT 43, 43.01, 44, 45, 46, 47, 57 & 77, MONTGOMERY TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" AND FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON OCTOBER 3, 2020 AS MAP NO. 3527. - SHOWN HEREON
 - RIGHT OF THE STATE OF NEW JERSEY TO REGULATE ACCESS TO AND FROM THE LAND AND NEW JERSEY STATE HIGHWAY U.S. ROUTE 206 - BLANKET IN NATURE
 - DECLARATION OF COVENANT RECORDED JANUARY 17, 2018 IN DEED BOOK 7018 PAGE 1782. - NOT A SURVEY RELATED MATTER, LOT SHOWN HEREON
 - TERMS AND CONDITIONS OF UNRECORDED LEASE AND MEMORANDUM OF LEASE AS SET FORTH IN DEED BOOK 7021 PAGE 3727 WHEREIN L.L. BEAN, INC. IS THE TENANT AND MPMG MONTGOMERY PROPERTIES LLC IS THE LANDLORD. - NOT A SURVEY RELATED MATTER
 - TERMS AND CONDITIONS OF UNRECORDED LEASE AND MEMORANDUM OF LEASE AS SET FORTH IN DEED BOOK 7082 PAGE 3478 WHEREIN WHOLE FOODS MARKET GROUP, IS THE TENANT AND MPMG MONTGOMERY PROPERTIES LLC IS THE LANDLORD. - NOT A SURVEY RELATED MATTER
 - TERMS AND CONDITIONS OF UNRECORDED LEASE AND MEMORANDUM OF LEASE AS SET FORTH IN DEED BOOK 1107 PAGE 3532 WHEREIN ULTA SALON, COSMETICS & FRAGRANCE, INC. IS THE TENANT AND MPMG MONTGOMERY PROPERTIES LLC IS THE LANDLORD. - NOT A SURVEY RELATED MATTER
 - STATE OF NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION PERMIT AS SET FORTH IN DEED BOOK 7160 PAGE 3038 - BLANKET IN NATURE
 - SUBSURFACE CONDITIONS AND/OR ENCROACHMENTS NOT DISCLOSED BY AN INSTRUMENT OF RECORD, (OWNERS POLICY ONLY) - NOT A SURVEY RELATED MATTER
 - RIGHTS OF TENANTS IN POSSESSION OR UNDER UNRECORDED LEASES - NOT A SURVEY RELATED MATTER
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
- ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), PER REFERENCE 10, TO CONVERT TO NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NAVOD29) SUBTRACT 0.98 FEET TO THE ELEVATIONS LISTED.
TEMPORARY BENCHMARK SET:
TBM-A: PK NAIL SET IN ASPHALT PAVEMENT ELEVATION= 145.88'
TBM-B: PK NAIL SET IN ASPHALT PAVEMENT ELEVATION= 146.23'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- SITE FEATURES ARE BASED UPON AERIAL MAPPING PREPARED BY PROMAPS, INC., SUPPLEMENTED BY GROUND SURVEY OBTAINED BY CONTROL POINT ASSOCIATES, INC.
- WAIVER OF SETTING CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO THE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS REGULATION, N.J.A.C. 13:40-5.2.
- THE EXISTENCE OF WETLANDS, IF ANY WAS UNKNOWN AT THE TIME OF THE FIELD SURVEY.
- THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.
- PROFESSIONAL LIABILITY INSURANCE HAS BEEN OBTAINED BY THE SURVEYOR THAT EXCEEDS THE AMOUNT REQUIRED BY CLIENT.
- A ZONING REPORT HAS NOT BEEN PROVIDED BY THE CLIENT AS OF THE DATE SHOWN HEREON.

REFERENCES:

- THE OFFICIAL TAX MAP OF THE TOWNSHIP OF MONTGOMERY, SOMERSET COUNTY, NEW JERSEY, SHEET 61.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, MONTGOMERY, SOMERSET COUNTY, NEW JERSEY" (ALL JURISDICTIONS), PANELS 243 & 244 OF 301, MAP NUMBERS 3403SC0243E EFFECTIVE DATE, SEPTEMBER 28, 2007. A MAP NUMBER 3403SC0244F EFFECTIVE DATE NOVEMBER 4, 2016.
- MAP ENTITLED "NEW JERSEY STATE HIGHWAY DEPARTMENT, GENERAL PROPERTY KEY MAP, ROUTE 16, SECTION 10, HANLINGTON TO BOLDERS CORNER SHOWING EXISTING RIGHT OF WAY AND PARCELS TO BE ACQUIRED IN THE TOWNSHIP OF MONTGOMERY, SOMERSET COUNTY" DATED FEBRUARY 1927, SHEET 1 OF 1.
- MAP ENTITLED "PLAN AND PROFILE, GEORGETOWN-FRANKLIN TURNPIKE SECT. 1, MONTGOMERY TWP., SOMERSET COUNTY" SHEETS 4 THRU 8 OF 25.
- MAP ENTITLED "TITLE SURVEY FOR MADISON MARQUETTE, BLOCK 34001, LOTS 56, 77 & 78, MONTGOMERY TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" PREPARED BY JUAN GLEEF ENGINEERING ASSOCIATES DATED JUNE 24, 2005.
- MAP ENTITLED "BOUNDARY & TOPOGRAPHICAL SURVEY, WAWA, INC., LOT 48, BLOCK 26002, #1723 N.J.S.H. U.S. ROUTE 206, MONTGOMERY TOWNSHIP, SOMERSET COUNTY, NEW JERSEY" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 12-4-88, FILE NO. C88475.
- MAP ENTITLED "STATE OF NEW JERSEY DEPARTMENT OF TRANSPORTATION, CONSTRUCTION PLANS ROUTE U.S. 206 (1963) SECTION 15G 14 & 13 C FROM THE VICINITY OF AIRPAK ROAD TO THE VICINITY OF SOMERSET STREET" SHEET 1 OF 128.
- MAP ENTITLED "PLAN SHOWING FORCE MAIN AS-BUILT THROUGH LOTS 38, 39, 38.01, 38.03, 43.0A AND 57, BLOCK 34001 PREPARED FOR BUKHINDER LOEFFLER ASSOCIATES, MONTGOMERY TOWNSHIP, SOMERSET COUNTY, N.J. PREPARED BY VAN NOTE-HARVEY ASSOCIATES, P.C. DATED 6/2/04.
- MAP ENTITLED "ALTA/NSP LAND TITLE SURVEY, MONTGOMERY PROMENADE, 1200 ROUTE 206 & COUNTY ROUTE 518, LOTS 46.01, 56, 57, 77, 78 & 79, BLOCK 34001, TOWNSHIP OF MONTGOMERY, SOMERSET COUNTY, STATE OF NEW JERSEY, PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 11-18-2005, LAST REVISED 06-13-19.

