

SPECIFICATIONS

DIVISION I - GENERAL REQUIREMENTS

- 1. THESE DOCUMENTS REPRESENT AN OVERALL DESIGN CONCEPT. THE INTENT OF THESE DOCUMENTS IS TO PROVIDE SUFFICIENT INFORMATION TO AN EXPERIENCED CONTRACTOR WHO IS FAMILIAR WITH WORK OF THIS TYPE WITHIN THE LOCALE OF THIS PROJECT. THE CONTRACTOR SHALL REVIEW THESE DOCUMENTS, VISIT THE SITE, VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN WRITING. THE CONTRACTOR HAVING AGREED TO UNDERTAKE THIS PROJECT SHALL BE REQUIRED TO CAPABLY EXECUTE THE DETAIL WORK NECESSARY TO ACHIEVE THE INTENDED RESULT IN A MANNER CONSISTENT WITH THE QUALITY WORKMANSHIP WITHIN THE EXISTING RESIDENCE.
- 2. ALL WORK SHALL BE CONDUCTED IN A SAFE AND WORKMAN LIKE MANNER AND SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND THE WORK AREA. IN ADDITION, ADEQUATE SIGNAGE TO DIRECT AND WARN TRAFFIC AWAY FROM PROJECT AREA. ALL OPERATIONS SHALL CONFORM TO ALL FEDERAL AND STATE SAFETY CODE REGULATIONS.
- 3. ALL WRITTEN DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL WRITTEN DIMENSIONS AND NOTIFY THE ARCHITECT IN WRITING OF DEVIATIONS BEFORE PROCEEDING WITH ANY PORTION OF THE WORK. DO NOT SCALE DRAWINGS.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE MOST CURRENT NEW JERSEY UNIFORM BUILDING CODE AND ALL REFERENCED SUB-CODES.
- 5. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL STANDARD PLUMBING CODE 2018
- 6. ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE 2017.
- 7. THE CONTRACTOR SHALL FURNISH DESIGNS FOR ALL HEATING SYSTEM WORK FOR ARCHITECTS REVIEW.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS.
- 9. THE ARCHITECT SHALL BE HELD HARMLESS OF ANY CLAIMS AND SHALL BE INDEMNIFIED OF LEGAL CLAIMS RESULTING FROM NEGLIGENCE ON THE PART OF THE CONTRACTOR
- 10. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS AND PROCEDURES USED DURING CONSTRUCTION.
- 11. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS. DEBRIS IS NOT TO BE STORED ON OWNERS PROPERTY.

DIVISION 2 - SITE MORK

- 1. CLEAR AND GRUB AREA TO BE OCCUPIED BY NEW CONSTRUCTION AS INDICATED ON THE DRAWINGS.
- 2. REMOVE TREES AND STUMPS COMPLETELY IN AREA OF NEW CONSTRUCTION AND AS DIRECTED BY OWNER.
- 3. EXCAVATE TO SUBGRADE ELEVATIONS INDICATED.
- 4. FOOTINGS SHALL REST ON UNDISTURBED SOIL HAVING A BEARING CAPACITY OF 1.5 TONS PER SQUARE FOOT. CONFIRM IN FIELD PRIOR TO PLACING ANY CONCRETE.
- 5. BOTTOM OF FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW ESTABLISHED GRADE.
- 6. DISPOSE OF EXCESS MATERIALS FROM EXCAVATION AS DIRECTED BY OWNER.

DIVISION 3 – CONCRETE

- 1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI, 28 DAYS FROM PLACING - FOR INTERIOR CONCRETE ONLY.
- 2. CONCRETE WORK SHALL CONFORM TO "ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
- 3. COLD WEATHER CONCRETE WORK SHALL CONFORM TO ACI 306. HOT WEATHER CONCRETE WORK SHALL CONFORM TO ACI 305.
- 4. REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60.
- 5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONCRETE WORK WITH INSERTS, ANCHORS, AND OTHER REQUIREMENTS OF ALL STRUCTURAL, ELECTRICAL AND PLUMBING WORK.

DIVISION 5 – METALS

- 1. ALL STEEL PLATES, SHAPES AND BARS SHALL CONFORM TO ASTM A36.
- 2. STEEL BAR GRATINGS: ASTM A569 OR ASTM A36.
- 3. ALL FASTENERS SHALL BE MADE OF THE SAME BASIC METAL AS FASTENED METAL.

DIVISION 6 - WOOD AND PLASTIC

- 1. ALL WOOD MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF "NATIONAL DESIGN SPECIFICATION FOR MOOD CONSTRUCTION" PUBLISHED BY NATIONAL FOREST PRODUCTS ASSOCIATION.
- 2. ALL LUMBER FOR CONSTRUCTION SHALL BE HEM-FIR (NO. 2 OR BETTER) HAVING MINIMUM ALLOWABLE EXTREME FIBER STRESS, a. Fb = 1,000 PSI (SINGLE MEMBER USE) b. Fb = 1,150 PSI (REPETITIVE MEMBER USE)
- UNLESS OTHERWISE NOTED ON DRAWINGS.
- 3. PLYWOOD FOR FLOOR SHALL BE APA RATED 3/4" THICK STRUCTURAL - I FLOOR, EXPOSURE 1, SPAN INDEX 20" O/C WITH TONGUE- AND GROOVE EDGES.
- 4. NOTE: ALL FASTENING CONNECTIONS SHALL COMPLY WITH TABLES OF THE FASTENING SCHEDULE - INTERNATIONAL BUILDING CODE 2018 NEW JERSEY EDITION.
- 5. ALL FASTENERS SHALL COMPLY WITH ASTM A153 (CORROSIVE RESISTIVE).
- 6. WHERE JOISTS HANGERS ARE REQUIRED USE "SIMPSON STRONG TIES" OR APPROVED EQUAL FOR WOOD TO WOOD CONNECTIONS. ALSO USE MANUFACTURERS SUPPLIED NAILS.
- 7. PLYWOOD FOR ROOFING SHALL BE APA RATED CDX 5/8" THICK WITH APPROPRIATE SPAN INDEX. CONTRACTOR TO COORDINATE WITH ARCHITECT FOR EXISTING SPAN INFORMATION
- 8. WOOD HANDRAILS & GUARDRAILS: HEIGHTS AS SHOWN ON DRAWINGS. PREP FOR PAINT FINISH
- 9. KITCHEN COUNTER TOPS: PLASTIC LAMINATE FINISH CUSTOM GRADE ON PARTICLE BOARD WITH 4" BACKSPLASH. COLOR SELECTED BY OWNER. COORDINATE WITH SINK REQUIREMENTS.
- 10. WOOD STAIR & RAILS: HARDWOOD STAIR, BALUSTERS, HANDRAIL PAINT GRADE/ POST TO POST/ 1-3/4" BALUSTERS (SQ.) C-5241. HANDRAIL C-6719-P1 AS MANUF. BY COFFMAN STAIR DIVISION OF VISADOR JACKSONVILLE, FL. OR APPROVED EQUAL
- 11. DOOR & WINDOW TRIM: 9/16"×2-1/2" FINGER JOINTED PAINT GRADE SANITARY CASING LWM 472 E2E CONSOLIDATED LUMBER CLIFTON, NJ OR EQUAL, WOOD BASE: 9/16"x5-1/4" FINGER JOINTED PAINT GRADE COLONIAL BASE WITH 1/2"×3/4" WOOD SHOE BB525 - CONSOLIDATED LUMBER. TYPICAL FOR ALL AREAS RECEIVING CARPET.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

- 1. FIBERGLAS INSULATION: FOIL-FACED GLASS FIBER BATT INSULATION WITH A NOMINAL DENSITY OF 1.5 LBS./CU. FT. IN THICKNESS INDICATED.
- 2. ROOFING SHALL BE 240 LB. ASPHALT SHINGLES. TIMBERLINE -COLOR. SELECTED BY OWNER
- 3. ALUMINUM FLASHING: 22 GAUGE, GALVANIZED ALUMINUM OF SIZES AND PROFILES INDICATED OR REQUIRED.
- 4. CAULKING: CAULK ALL EXPOSED EXTERIOR JOINTS BETWEEN MASONRY, WOOD, DOOR AND WINDOW FRAMES USING AN ARCHITECTURAL GRADE BUTYL CAULKING COMPOUND.

DIVISION 8 - DOORS AND WINDOWS

- 1. UNDERCUT ALL INTERIOR DOORS BY 1/2" ABOVE FINISHED SURFACE.
- 2. FINISH HARDWARE: PROVIDE AND INSTALL ALL NECESSARY HARDWARE FOR ALL DOORS, WINDOWS AND CABINETS AS INDICATED OR REQUIRED. MANUFACTURER: SCHLAGE OR APPROVED EQUAL.
- 3. INTERIOR WOOD DOORS:

NATURAL FINISH DOORS: SOLID PANEL DOOR WITH PARTICLEBOARD CORE, ANSI/HPMA HP 1983, GRADE A HARDWOOD VENEER FACES FOR PAINT FINISH.

AWI GRADE: CUSTOM WOOD LOUVERS: SOLID WOOD BLADES AND FRAME PRE-FIT AND PRE-MACHINE FOR HARDWARE AT FACTORY. FIELD FINISH DOORS WITH PAINT FINISH

4. EXTERIOR DOORS:

ALL EXTERIOR DOORS SHALL BE MANUFACTURED BY STANLEY OR APPROVED EQUAL. FACTORY PRIMED AND FIELD FINISHED PAINT AS PER MANUFACTURERS RECOMMENDATIONS AND COLOR SELECTED BY OWNER. 24-GAUGE BONDERIZED STEEL, ELECTRO-GALVANIZED BOTH SIDES OF EXTERIOR DOORS.

5. WINDOWS - ANDERSON 400 SERIES

ALTERATIONS TO: 59 ZION WERTSVILLE ROAD

SKILLMAN, NJ

DIVISION 9 - FINISHES

- 1. GYPSUM WALLBOARD: ASTM C 26, TAPERED EDGE OF THICKNESS INDICATED. PROVIDE REGULAR TYPE EXCEPT WHERE FIRE RATED GYPSUM BOARD IS INDICATED. TAPE AND SPACKLE ALL JOINTS IN PREPARATION FOR FINISH PAINTING.
- 2. PROVIDE WATER RESISTANT GYPSUM BOARD COMPLYING WITH ASTM C 630 IN ALL BATHROOMS WHEN REQUIRED.
- 3. TILE: CONTRACTOR TO SUPPLY & INSTALL AS PER ANSI-137.1 GLAZED WALL TILE: 4-1/4"×4-1/4"×5/16" GLAZED WALL TILES 47 BRITE WHITE
- CERAMIC MOSAIC FLOOR TILE: CERAMIC MOSAIC STOCK PATTERN P127 2x2&1x1 (PEPPER WHITE) GROUT: COLOR WHITE/ WALLS AND FLOORS, PROVIDE COVED BASE, BULLNOSE CAP, INTERNAL COVED BASE CORNERS AND ALL REQUIRED ACCESSORIES FOR COMPLETE INSTALLATION OF TILE. THRESHOLD: GRADE A MARBLE, ASTM C 503. SETTINGS: MANUFACTURERS RECOMMENDATIONS FOR FLOOR AND WALL SETTING TYPE AND GROUT. ALL TILE INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF THE "TILE COUNCIL OF AMERICA FOR TYPE AND INSTALLATION. MANUFACTURER: AMERICAN OLEAN OR APPROVED EQUAL.
- 4. RESILIENT FLOORING:
- SHEET VINYL FLOORING 15 MIL CLEAR VINYL SURFACE LAYER. FELT BACK TYPE I GRADE 3 CLASS "A" RESOLUTION - CHARTER HOUSE AS MANUFACTURED BY MANNINGTON, INC. BASE: 4" VINYL BASE
- 5. CARPET: SELECTED BY OWNER (ALLOWANCE) ALL AREAS UNLESS OTHERWISE NOTED, NOT INCLUDING BASEMENT, SHALL RECEIVE WALL TO WALL CARPET INCLUDING STAIRS
- 6. PAINTING: PROVIDE PAINTING & SURFACE PREPARATION FOR ALL UNFINISHED INTERIOR & EXTERIOR SURFACES. MANUF - SHERWIN WILLIAMS OR APPROVED EQUAL
- EXTERIOR PAINT SYSTEM: LATEX PRIMER W/ TWO COATS OF LATEX EXTERIOR FIN. INTERIOR PAINT SYSTEM: GYPSUM DRYWALL SYSTEM: ONE COAT LATEX PRIMER & TWO COATS LATEX SATIN FINISH FOR TOP COAT. PAINTED WOODWORK AND DOORS: LATEX PRIMER W/ TWO COATS OF LATEX SEMI GLOSS

DIVISION 11 - EQUIPMENT

1. RESIDENTIAL EQUIPMENT: APPLIANCES: PROVIDE AND INSTALL THE FOLLOWING WITH ALL NECESSARY EQUIPMENT AND CONNECTIONS. RANGE/OVEN: SELECTED BY OWNER, REFRIGERATOR: SELECTED BY OWNER, RANGE HOOD: 2 SPEED: SELECTED BY OWNER, 190 CFM. FINISH STAINLESS STEEL. EXHAUST DIRECTLY TO OUTSIDE. KITCHEN CABINETS & VANITIES: SELECTED BY OWNER

DIVISION 15 - PLUMBING/HEATING

- 1. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER.
- 2. PREFABRICATED GAS FIRED FIREPLACE: THE CONTRACTOR SHALL SUBMIT ALL CATALOG CUTS & SHOP DRAWINGS INCLUDING METHOD OF VENTING AS REQUIRED.
- 3. PLUMBING FIXTURES: PROVIDE AND INSTALL ALL FIXTURES AS SHOWN ON DRAWINGS WITH ALL CONNECTIONS, FAUCETS, SHOWER HEADS, ETC. FOR COMPLETE INSTALLATION OF NEW PLUMBING FIXTURES; TOILET, LAVATORY, TUB/SHOWER, LAV. FAUCET, TUB SHOWER DIVERTER, ALL SELECTED BY OWNER
- 4. HEATING SYSTEM: EXISTING TO REMAIN.
- 5. EXISTING HOT WATER HEATER TO REMAIN THE CONTRACTOR SHALL PROVIDE ALL CATALOG CUTS FOR ALL EQUIPMENT, INCLUDING METHOD OF VENTING

DIVISION 16 – ELECTRICAL

- 1. ALL ELECTRICAL WORK AND CIRCUITING SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
- 2. REFER TO DRAWINGS FOR REQUIRED ELECTRICAL LIGHTING AND POWER INSTALLATION.
- 3. MOUNT ALL SWITCHES 4'-0" AFF, OUTLETS 12" AFF UNLESS OTHERWISE NOTED.
- 4. ELECTRICAL PANEL BOARD: EXISTING TO REMAIN UPGRADE AS REQUIRED.
- 5. ALL ELECTRICAL WORK SHALL COMPLY WITH THE NEC.
- 6. MOUNT ALL OUTLETS AT COUNTERS AND VANITIES 4'-0' AFF.



GENERAL NOTES

- 2. ALL INTERIOR DIMENSIONS TO EXISTING WALLS ARE FROM FACE OF FINISHED MATERIAL
- 3. ALL INTERIOR STAIRS SHALL HAVE A MAXIMUM RISER OF 8-1/4" AND MINIMUM TREAD OF 9". RISER AND TREAD DIMENSIONS ON PLANS ARE (+/-). CONTRACTOR TO VERIFY.
- 4. ALL PIPING, ETC. SHALL BE FULLY ENCLOSED WITHIN A WALL OR BOXED IN WITH GYPSUM BOARD WALLS.
- 5. ALL INTERIOR WALLS SHALL BE 2×4 STUDS 16: O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES UNLESS OTHERWISE NOTED.
- 6. ALL INTERIOR CEILINGS SHALL BE 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
- 7. AT ALL CLOSETS, EXCEPT LINEN CLOSETS, PROVIDE AND INSTALL 12" FIXED 3/4" PLYWOOD SHELF 5'-8" AFF AND ROD WITH REQUIRED BRACKETS AND SUPPORTS. CONFIGURATION ON PLANS. AT ALL LINEN CLOSETS PROVIDE AND INSTALL (4) 12" ADJUSTABLE PLYWOOD SHELVES. PLYWOOD SHALL HAVE BOTH SIDES SMOOTH FACE SUITABLE FOR PAINTING.
- 8. REMOVE ALL EXISTING INTERIOR AND EXTERIOR DEBRIS FROM SITE AND BUILDING.

EGRESS WINDOW NOTE:

EGRESS WINDOWS SHALL MEET THE REQUIREMENTS OF SECTION R310 OF THE IRC 2018 / NEW JERSEY EDITION

- 1. MIN. OPENING 5.7 SF
- 2. MIN. OPENING HEIGHT 24"
- 3. MIN. OPENING WIDTH 20"
- 4. MAX SILL HEIGHT 44" AFF.

MINDOM NOTE:

- - 3. NEW SKYLIGHTS INSTALL AS PER MANUFACTURER RECOMMENDATIONS. CONTRACTOR SHALL SUPPLY ALL CATALOG CUTS AND SPECIFICATIONS AS REQUIRED.

 - 4. FINAL WINDOW LOCATIONS SHALL BE COORDINATED IN FIELD.

DRAMING SCHEDULE:

- T-1 SPECIFICATION & GENERAL NOTES
- A-1 PARTIAL FOUNDATION PLAN FLOOR PLAN ELECTRICAL PLAN PLUMBING, WATER & GAS RISER DIAGRAM WALL CONSTRUCTION DETAILS
- A-2 FLOOR FRAMING PLAN **CEILING FRAMING PLAN** ROOF FRAMING PLAN
- A-4 A LIVING / DINING CEILING SECTION **B - ROOF & CEILING SECTION**
- A-5 ELEVATIONS

HEADER SCHEDULE:

UNLESS OTHERWISE INDICATED ON THE DRAWINGS, PROVIDE HEADERS FOR OPENINGS IN FRAME WALLS AS FOLLOWS:

OPENING SIZE - HEADER SIZE 0'-0" TO 2'-0" (2) 2×4 2'-0" TO 3'-0" (2) 2×6 3'-0" TO 5'-0" (2) 2×8 5'-0" TO 7'-0" (2) 2×10

CODES:

NATIONAL ELECTRIC CODE 2017 NATIONAL STANDARD PLUMBING CODE 2018

DRAWINGS SUBMITTED UNDER THE INTERNATIONAL **RESIDENTIAL CODE 2018 - NEW JERSEY EDITION**

PLAN REVIEW INFORMATION

PROJECT ADDRESS: 59 ZION WERTSVILLE RD SKILLMAN, NJ 08558 **PROJECT DESCRIPTION:**

THE SCOPE OF WORK FOR THIS PROJECT IS TO MAKE INTERIOR & EXTERIOR ALTERATIONS TO AN EXISTING SINGLE FAMILY HOUSE

CODES: UNIFORM CONSTRUCTION CODE STATE OF NEW JERSEY **REHABILITATION SUBCODE / 2018** NJAC 5:23-2.15(f) 1/R301.1 WORK SHALL BE CATEGORIZED AS "ALTERATIONS"

USE GROUP: R-5 TYPE OF CONSTRUCTION: 5B

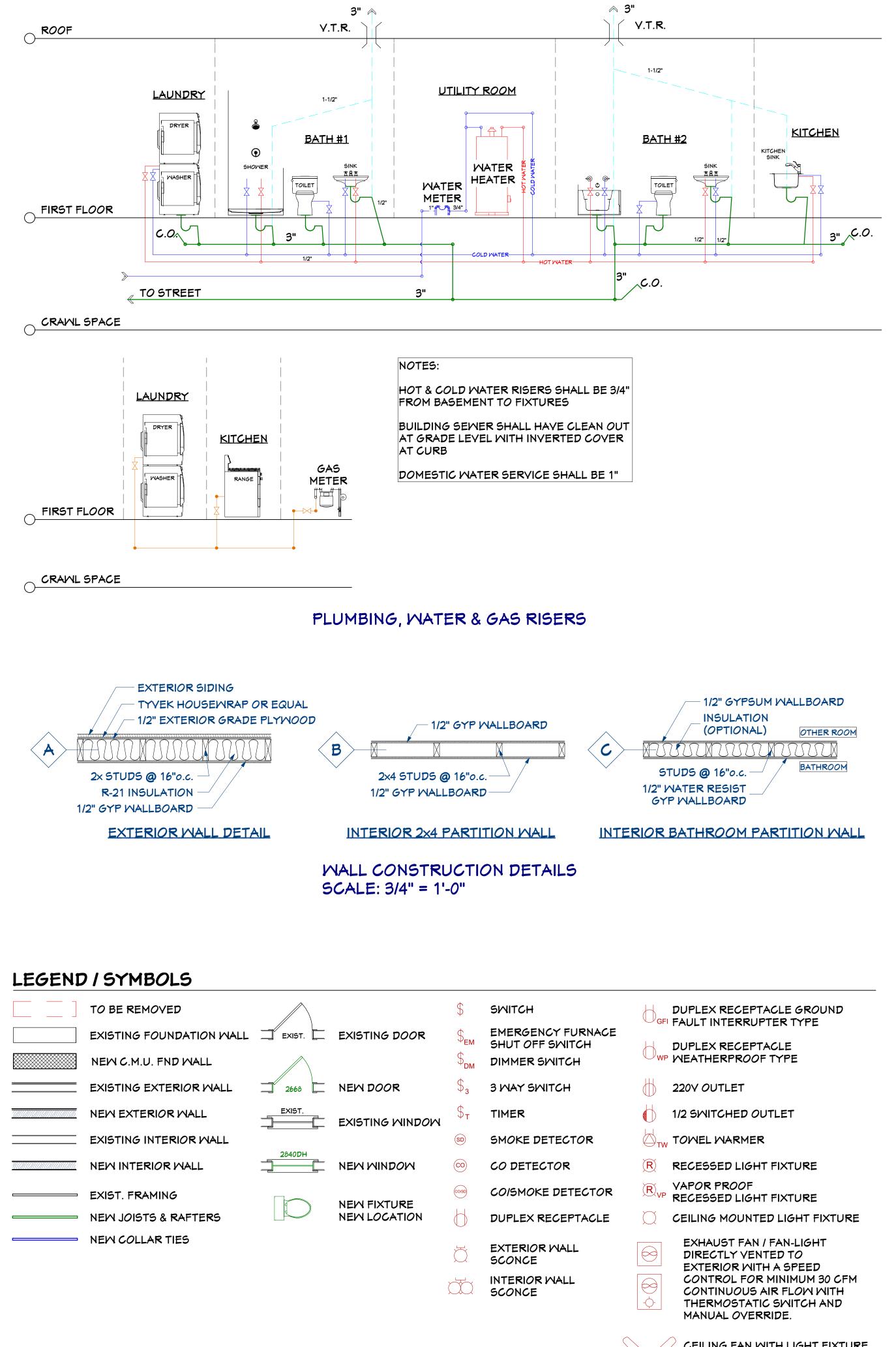
REVISIONS	NO. DATE DESCRIPTION			
		LIONEL A. SCRIVEN NJ REGISTRATION NUMBER 13358	PA REGISTRATION NUMBER AX010890	\setminus
Lionel A. Scriven Architect LLC		45 delaware avenue lambertville, new jersey 08530	609.947.4069 LionelA.ScrivenArchitect.com	
PROJECT NAME:		59 ZION WERTSVILLE ROAD SKILLMAN, NJ 08558		
PROJECT NAME:		59 ZION WERTSVILLE ROAD	SKILLMAN, NJ U8558	
	PROJECT #22-1352			
SHEET TITLE DATE: 2/21/2022 PROJECT NAME:	SPECIFICATIONS & GENERAL NOTES PROJECT #22-1352	SCALE: AS NOTED 59 ZION WERTSVILLE ROAD	DRAWN BY: AJM SKILLMAN, NJ 08558	
DATE: 2/21/2022	L NOTES			

SHEET <u>1</u> OF <u>5</u>

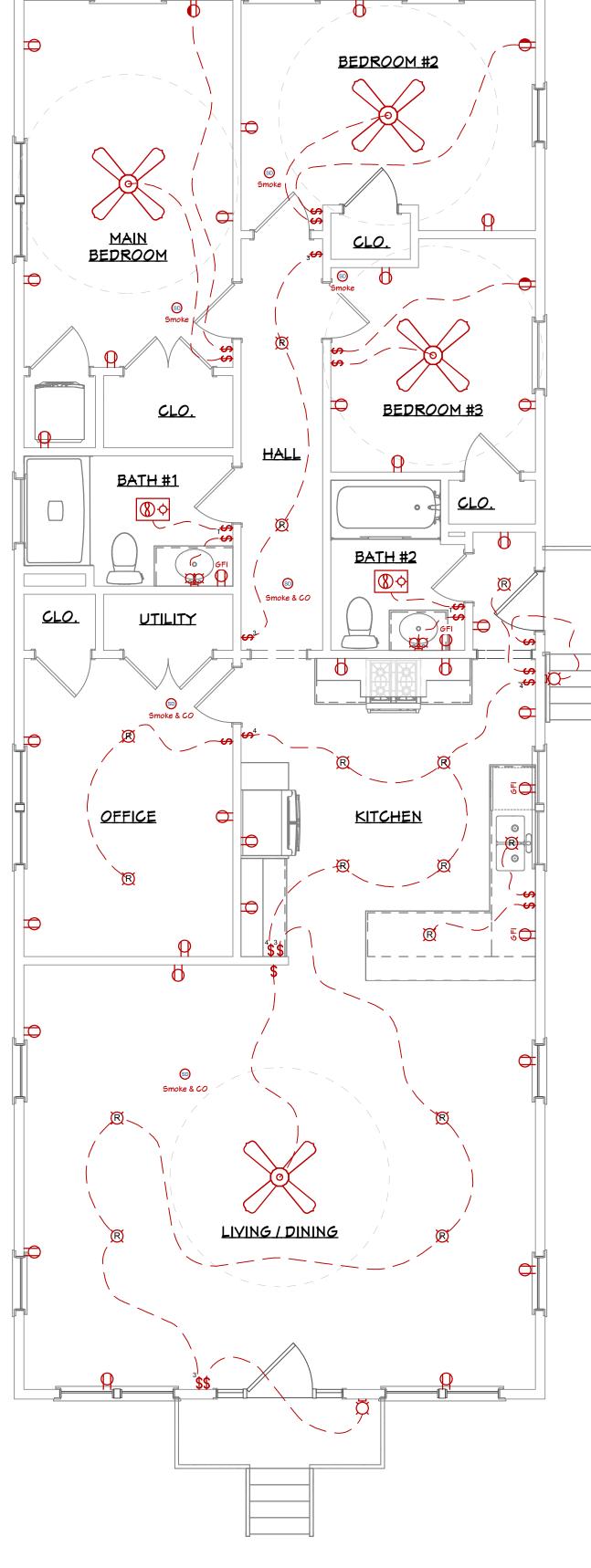
1. ARCHITECT SHALL BE SOLE INTERPRETER OF REQUIREMENTS OF THE CONTRACT DOCUMENTS.

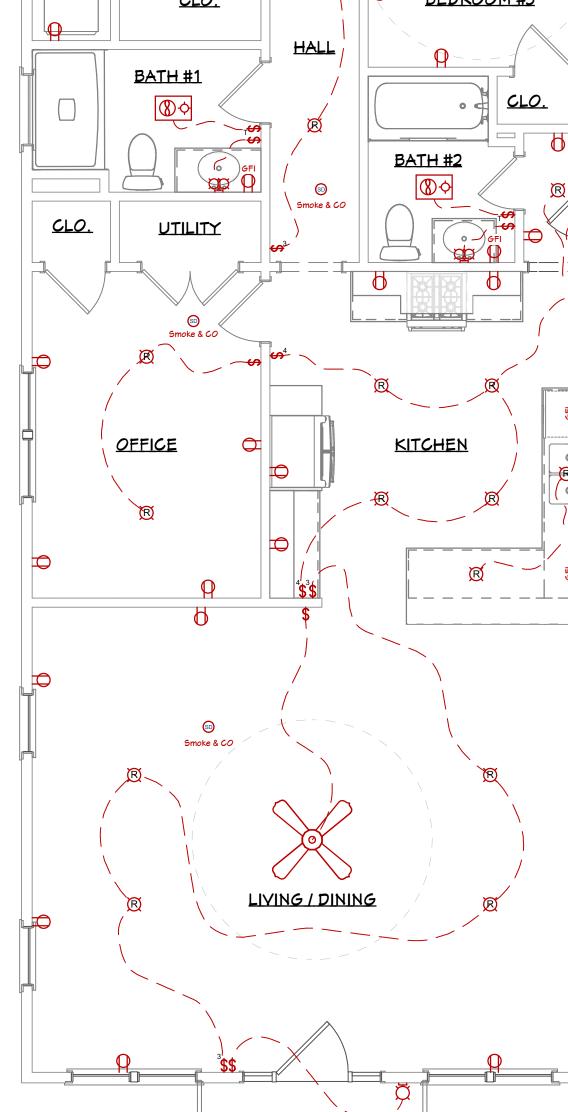
1. ALL WINDOWS SHALL BE A MIN. DOUBLE GLAZING.

2. ALL WINDOWS SHALL BE SELECTED BY OWNER.



CEILING FAN WITH LIGHT FIXTURE NOTE: SMOKE DETECTOR MUST BE LOCATED FARTHER THAN 10' FROM EDGE OF BLADE

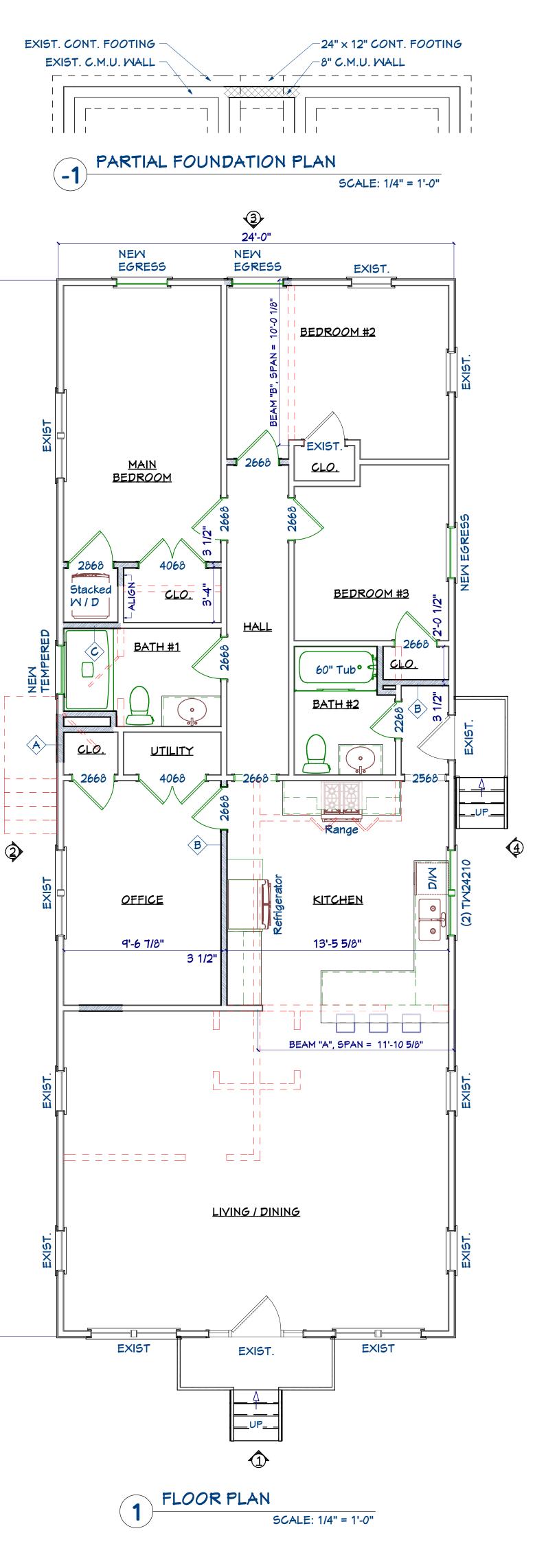


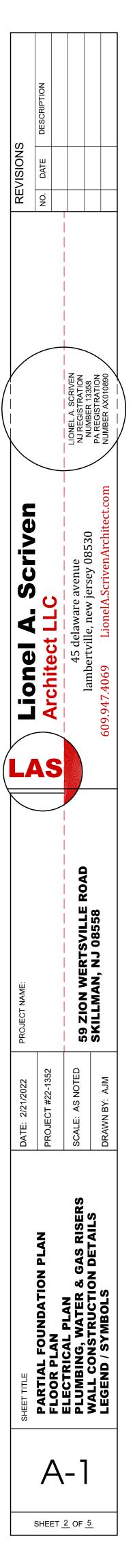


ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

2

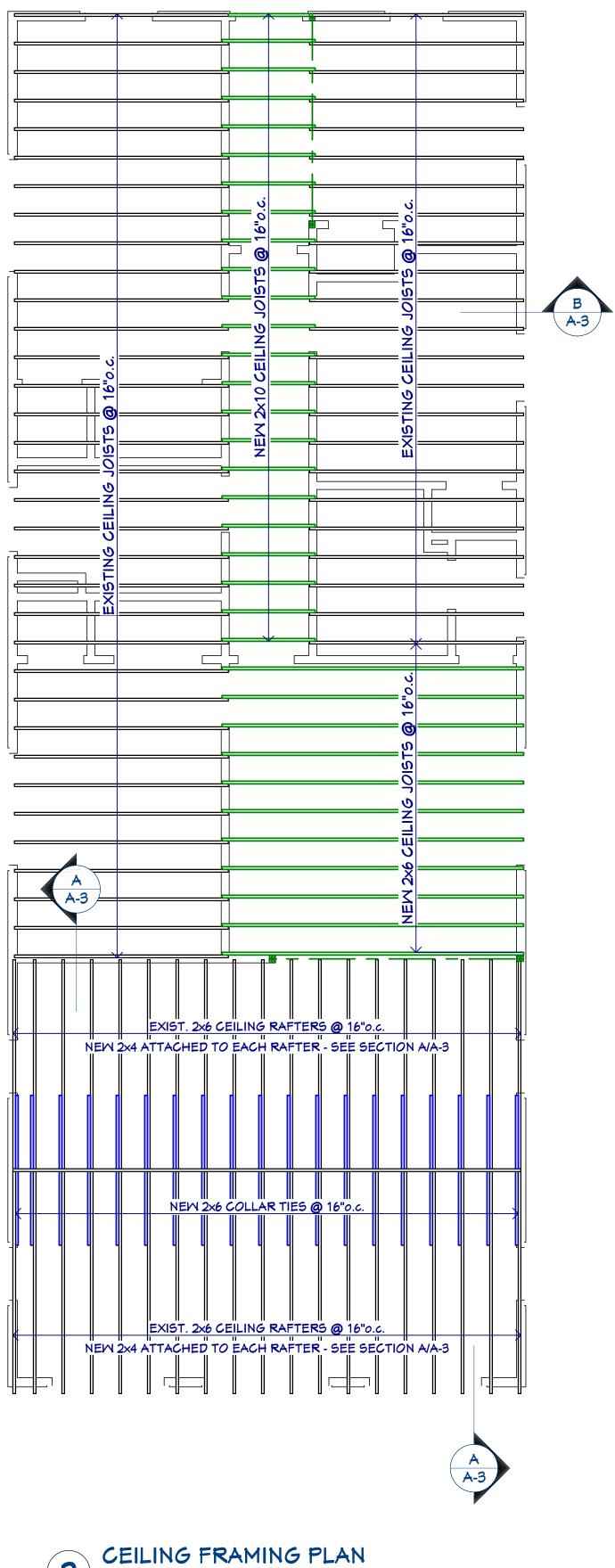


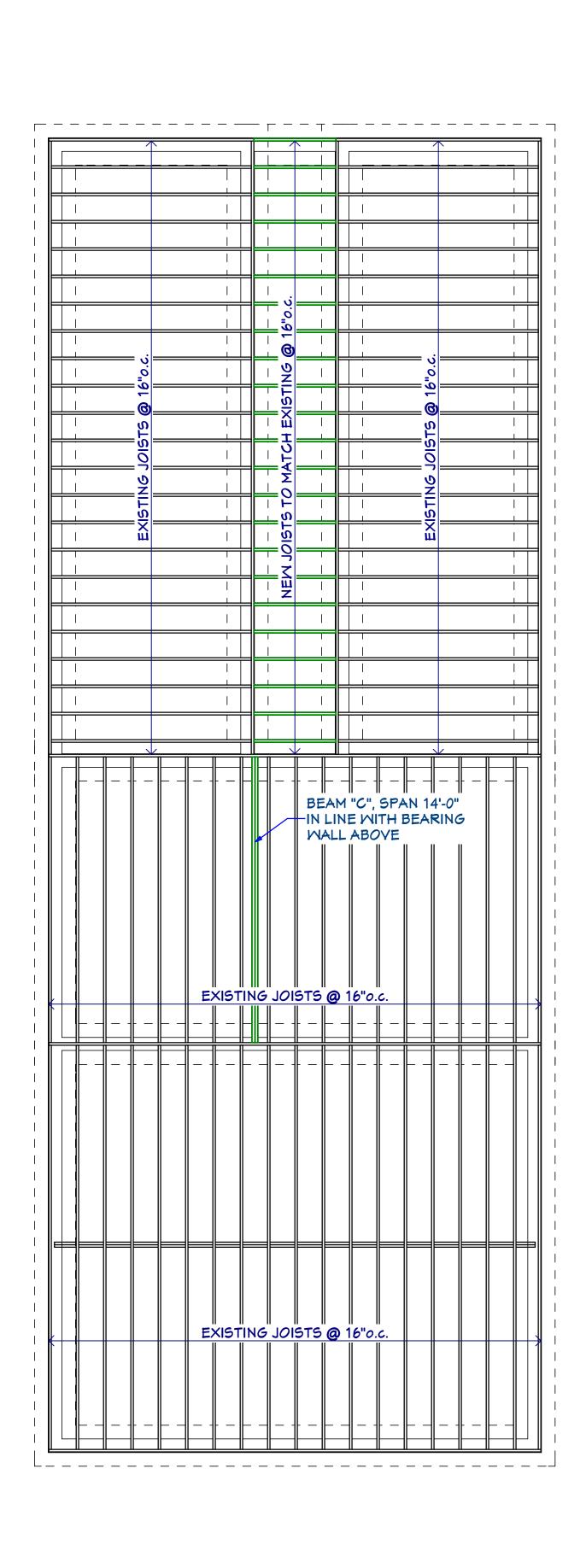


	16"o.c.		
	NEW 2x6 RAFTERS @		
RS @ 16"0.6.			RS @ 16"0.C.
EXISTING RAFTERS			
			¥
		TERS @ 16"o.c.	
		TERS @ 16"o.c.	

3 ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



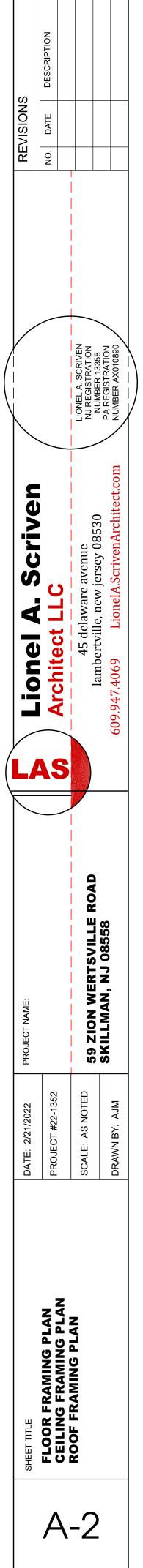


FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

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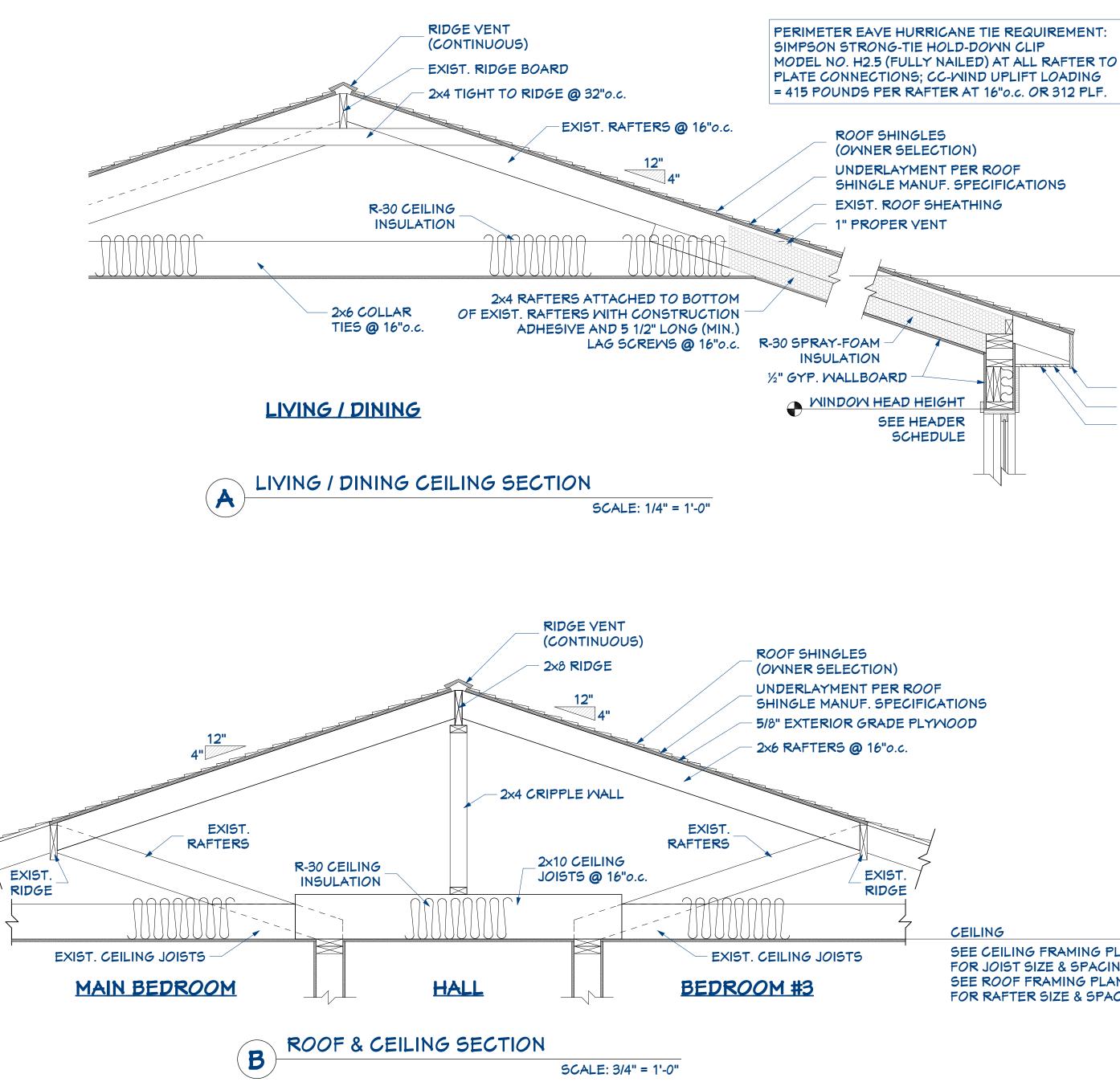
SCALE: 1/4" = 1'-0"



SHEET <u>3</u> OF <u>5</u>

TYPICAL FRAMING NOTES:

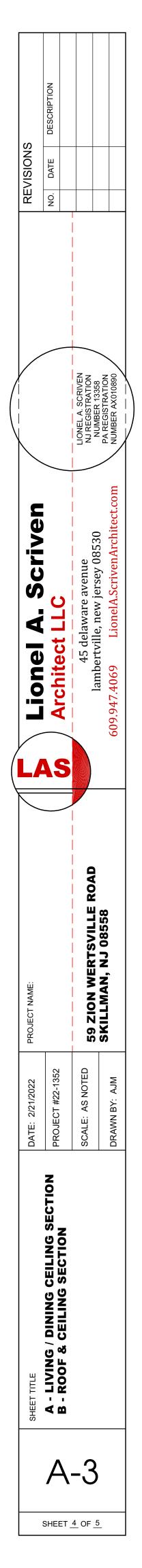
- 1. ALL STRUCTURAL LUMBER SHALL BE HEM FIR #2 OR BETTER, UNLESS OTHERWISE NOTED - TYPICAL
- 2. ALL BEAMS LABELED "PSL" TO BE 2.0E PARALLEL-STRAND ENGINEERED LUMBER BY TRUSS JOIST, UNLESS OTHERWISE NOTED -TYPICAL
- 3. ALL LUMBER LABELED "TREATED" TO BE ACQ. PRESSURE TREATED YELLOW PINE OR BETTER, UNLESS OTHERWISE NOTED - TYPICAL
- 4. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS TYPICAL
- 5. ADD BLOCKING AND STIFFENERS AT CANTILEVERS AS PER MANUFACTURERS SPECIFICATIONS - TYPICAL
- 6. PROVIDE SOLID WOOD POSTS AT THE BEARING ENDS OF ALL GIRDERS UNLESS OTHERWISE NOTED. ALL POSTS TO BE A MINIMUM OF THE WIDTH OF THE GIRDER - TYPICAL
- 7. PROVIDE SOLID BLOCKING AT ALL POSTS AND BEARING POINTS AS REQUIRED - TYPICAL
- 8. PROVIDE FIRE BLOCKING AS REQUIRED
- 9. PROVIDE SIMPSON MTL. JOIST / BEAM HANGERS AT ALL FLUSH JOIST APPLICATIONS - TYPICAL
- 10. LINES SHOWN FOR LOCATIONS OF JOISTS AND RAFTERS ARE DIAGRAMMATIC - NOT EXACT LOCATIONS
- 11. PROVIDE 2x4 AT 32" o.c. COLLAR TIES AT ALL ROOFS UNLESS OTHERWISE NOTED - TYPICAL
- 12. PROVIDE BRIDGING AT THE MID SPAN OF ALL JOISTS TYPICAL
- 13. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE ACQ. PRESSURE TREATED. ALL FASTENERS AND FLASHING IN CONTACT WITH ACQ. PRESSURE TREATED LUMBER SHALL BE STAINLESS STEEL PF TRIPLE ZINC COATED - TYPICAL

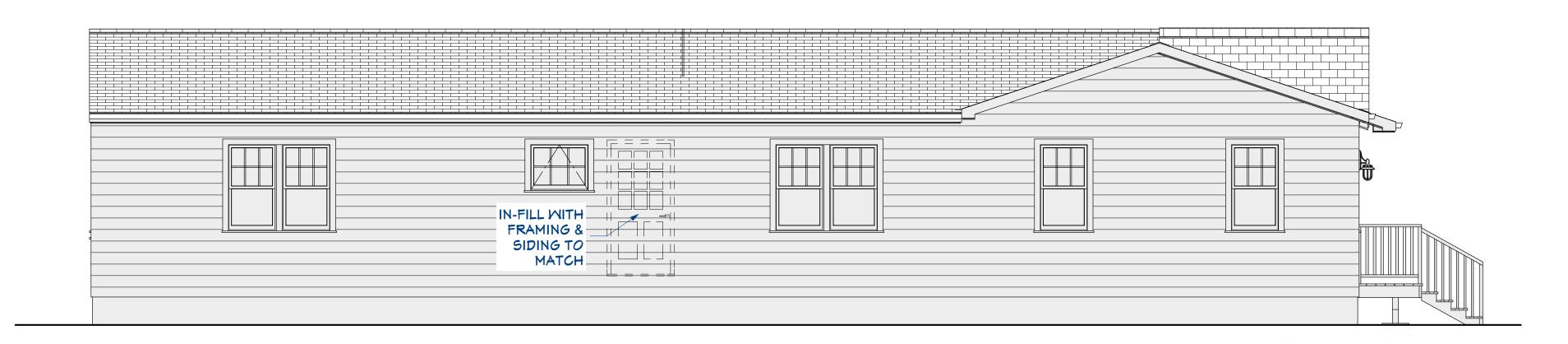


LIVING / DINING CEILING SEE CEILING FRAMING PLAN FOR JOIST SIZE & SPACING SEE ROOF FRAMING PLAN FOR RAFTER SIZE & SPACING

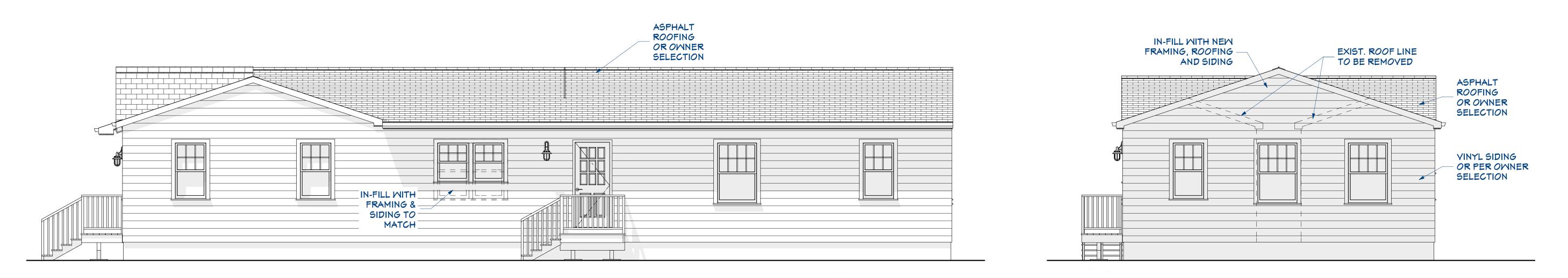
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SEE CEILING FRAMING PLAN FOR JOIST SIZE & SPACING SEE ROOF FRAMING PLAN FOR RAFTER SIZE & SPACING













SCALE: 1/4" = 1'-0"

FRONT ELEVATION 1 SCALE: 1/4" = 1'-0"

REAR ELEVATION SCALE: 1/4" = 1'-0" 4

