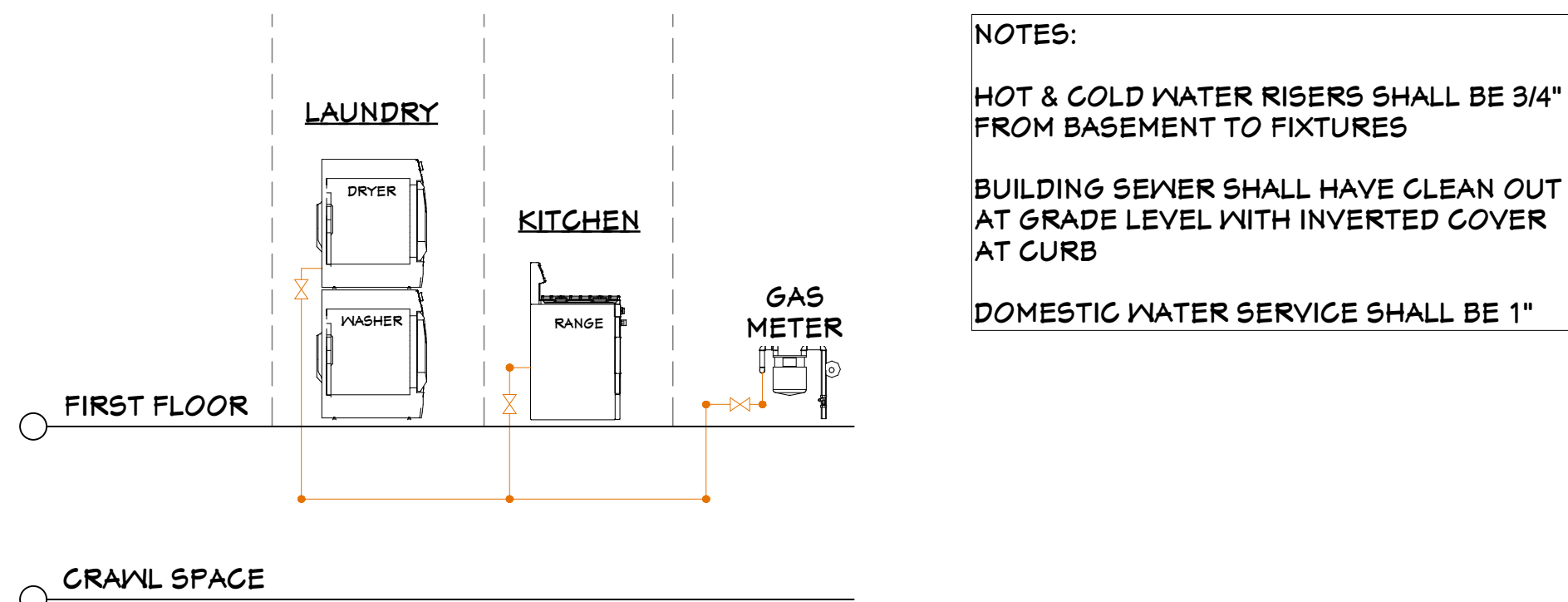
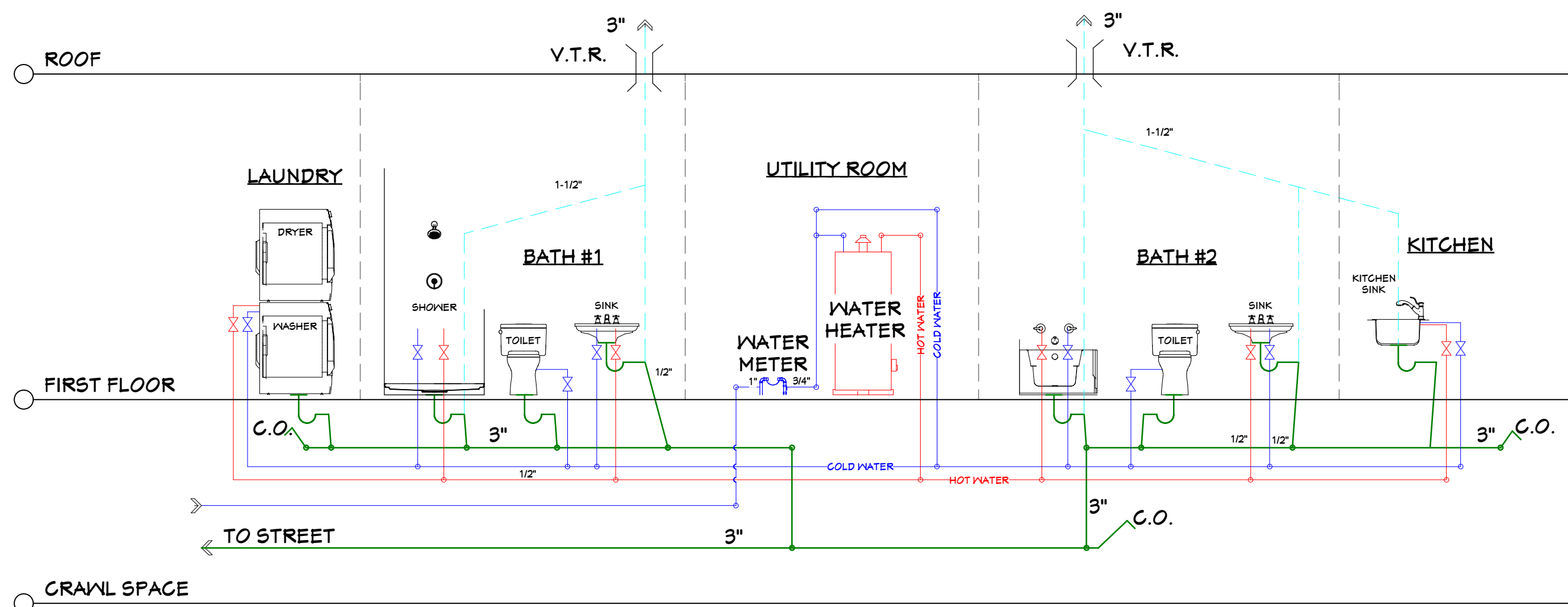


**SKILLMAN, NJ**

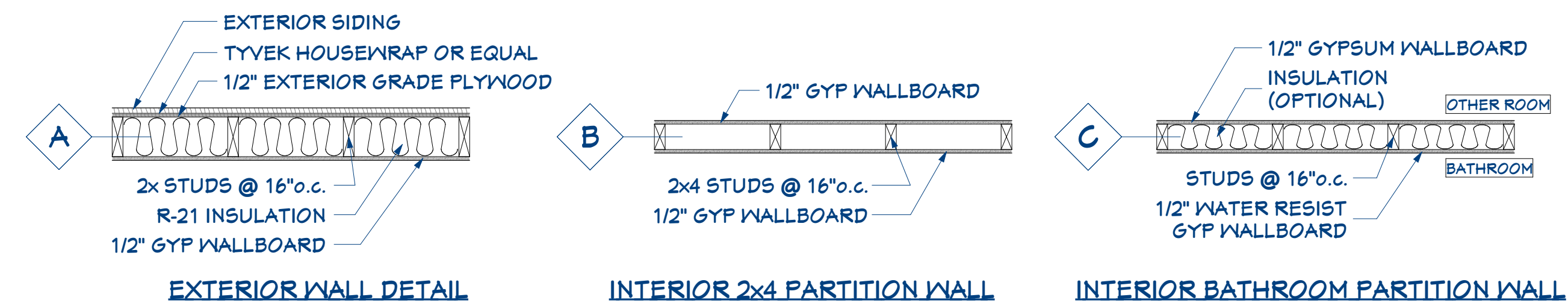
## SHEET 1 OF 5





NOTES:  
HOT & COLD WATER RISERS SHALL BE 3/4" FROM BASEMENT TO FIXTURES  
BUILDING SEWER SHALL HAVE CLEAN OUT AT GRADE LEVEL WITH INVERTED COVER AT CURB  
DOMESTIC WATER SERVICE SHALL BE 1"

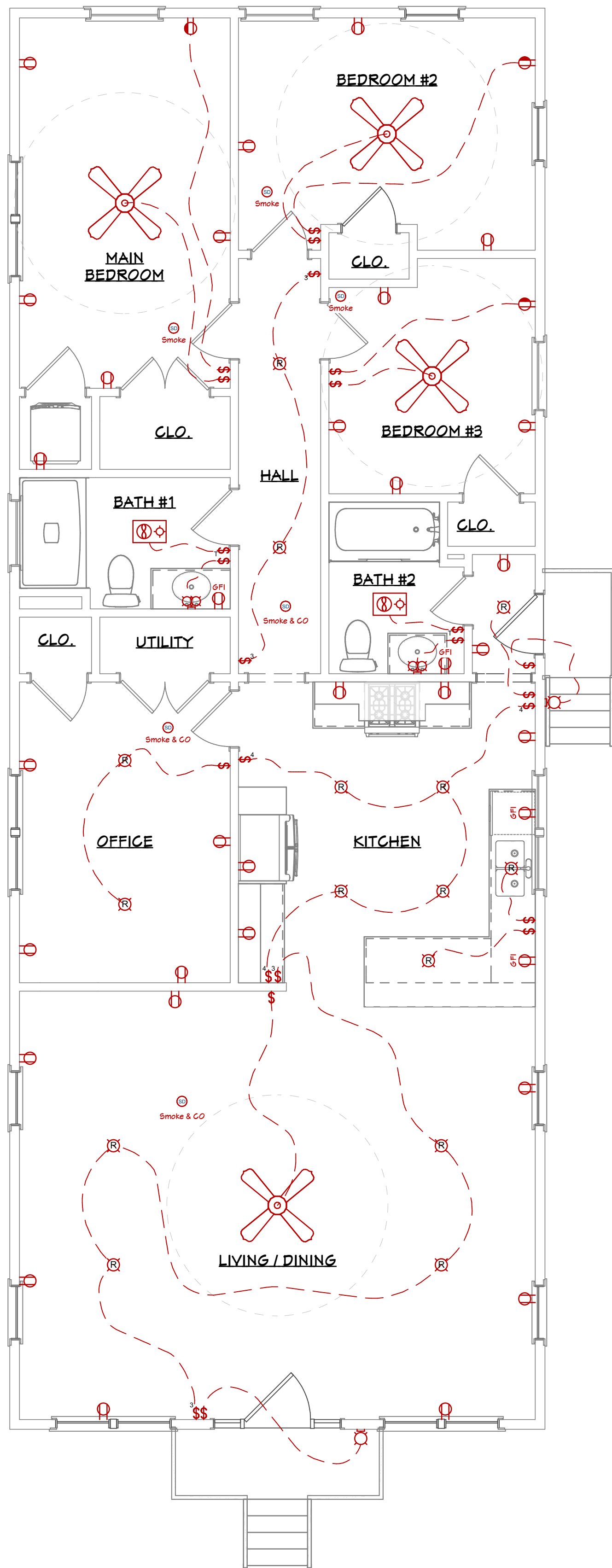
### PLUMBING, WATER & GAS RISERS



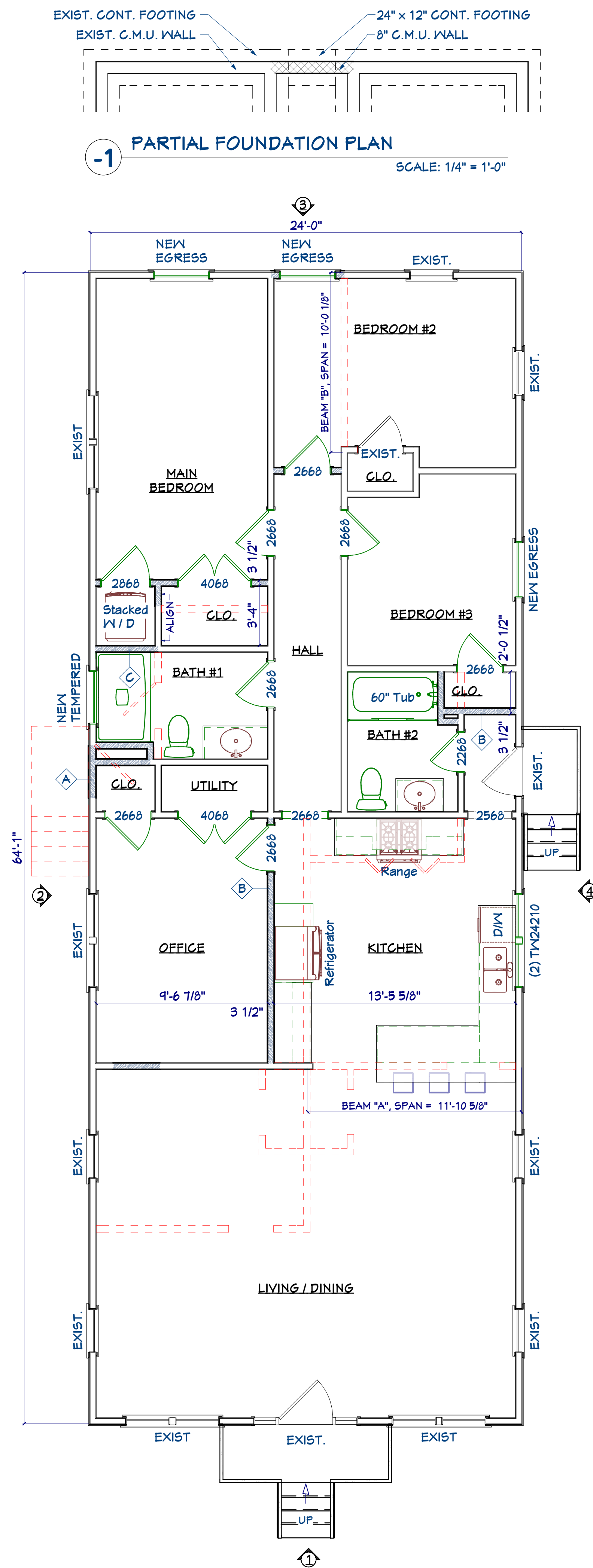
### WALL CONSTRUCTION DETAILS SCALE: 3/4" = 1'-0"

### LEGEND / SYMBOLS

	TO BE REMOVED		EXIST. DOOR		SWITCH		DUPLEX RECEPTACLE GROUND FAULT INTERRUPTER TYPE
	EXISTING FOUNDATION WALL		NEW DOOR		EMERGENCY FURNACE SHUT OFF SWITCH		DUPLEX RECEPTACLE WEATHERPROOF TYPE
	NEW C.M.U. FND WALL		EXIST. WINDOW		DIMMER SWITCH		220V OUTLET
	EXISTING EXTERIOR WALL		NEW WINDOW		3 WAY SWITCH		1/2 SWITCHED OUTLET
	NEW EXTERIOR WALL		NEW WINDOW		TIMER		TOWEL WARMER
	EXISTING INTERIOR WALL		NEW WINDOW		SMOKE DETECTOR		RECESSED LIGHT FIXTURE
	NEW INTERIOR WALL		NEW WINDOW		CO DETECTOR		VAPOR PROOF RECESSED LIGHT FIXTURE
	EXIST. FRAMING		NEW WINDOW		CO/SMOKE DETECTOR		CEILING MOUNTED LIGHT FIXTURE
	NEW JOISTS & RAFTERS		NEW WINDOW		DUPLEX RECEPTACLE		EXHAUST FAN / FAN-LIGHT DIRECTLY VENTED TO EXTERIOR WITH A SPEED CONTROL FOR MINIMUM 30 CFM CONTINUOUS AIR FLOW WITH THERMOSTATIC SWITCH AND MANUAL OVERRIDE.
	NEW COLLAR TIES		NEW WINDOW		EXTERIOR WALL SCONCE		CEILING FAN WITH LIGHT FIXTURE NOTE: SMOKE DETECTOR MUST BE LOCATED FARTHER THAN 10' FROM EDGE OF BLADE
			NEW WINDOW		INTERIOR WALL SCONCE		



### 2 ELECTRICAL PLAN SCALE: 1/4" = 1'-0"



### 1 FLOOR PLAN SCALE: 1/4" = 1'-0"

REVISIONS		DESCRIPTION
NO.	DATE	

**Lionel A. Scriven**  
Architect LLC

45 Delaware Avenue  
Lambertville, New Jersey 08530  
609.947.4069 [LionelAScrivenArchitect.com](http://LionelAScrivenArchitect.com)

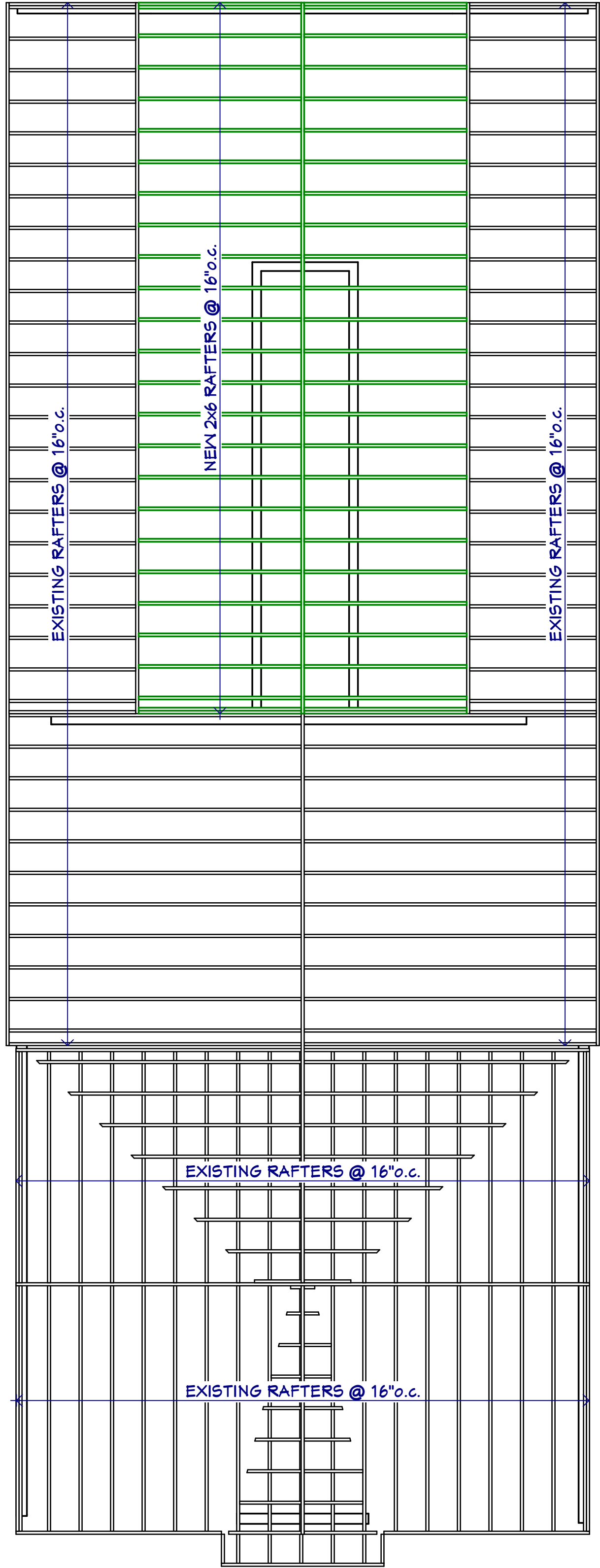
SHEET TITLE  
PARTIAL FOUNDATION PLAN  
FLOOR PLAN  
ELECTRICAL PLAN  
PLUMBING, WATER & GAS RISERS  
WALL CONSTRUCTION DETAILS  
LEGEND / SYMBOLS

PROJECT NAME:  
59 ZION WERTSVILLE ROAD  
SKILLMAN, NJ 08558

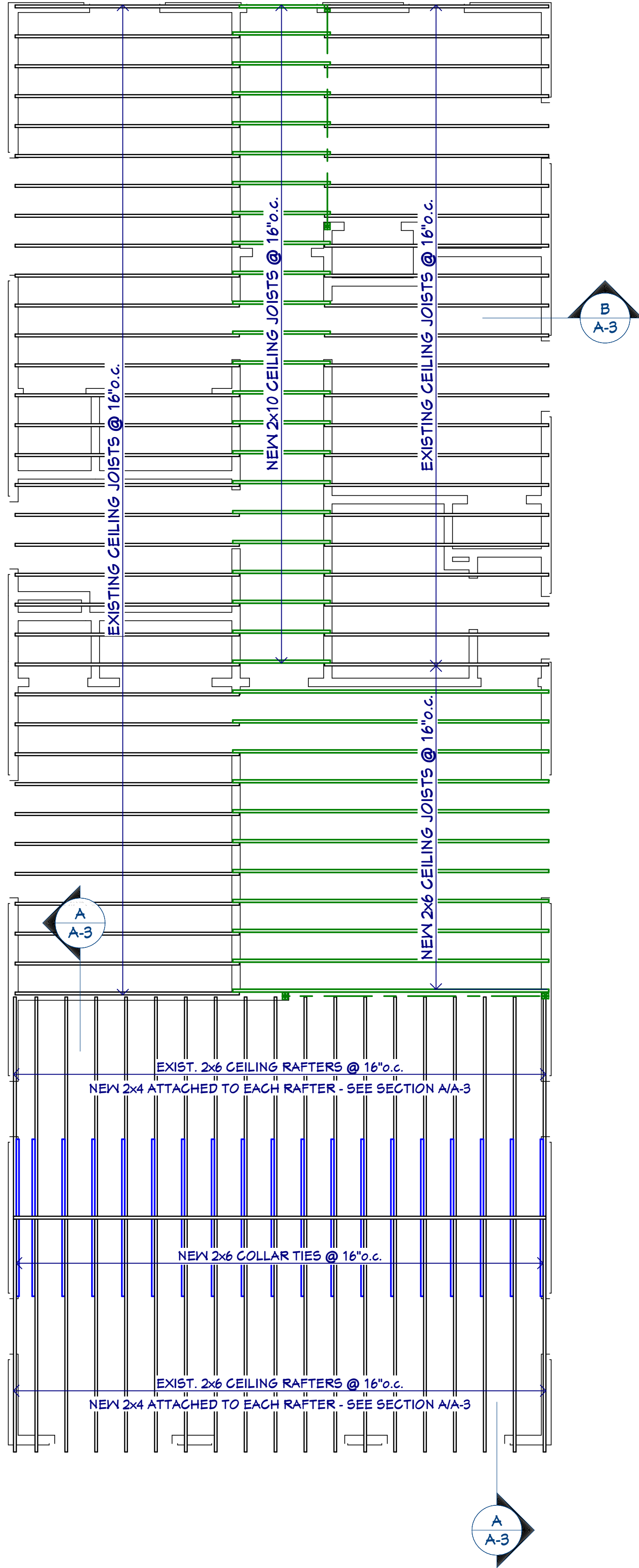
DATE: 2/21/2022  
PROJECT #22-1352  
SCALE: AS NOTED  
DRAWN BY: AJM

A-1

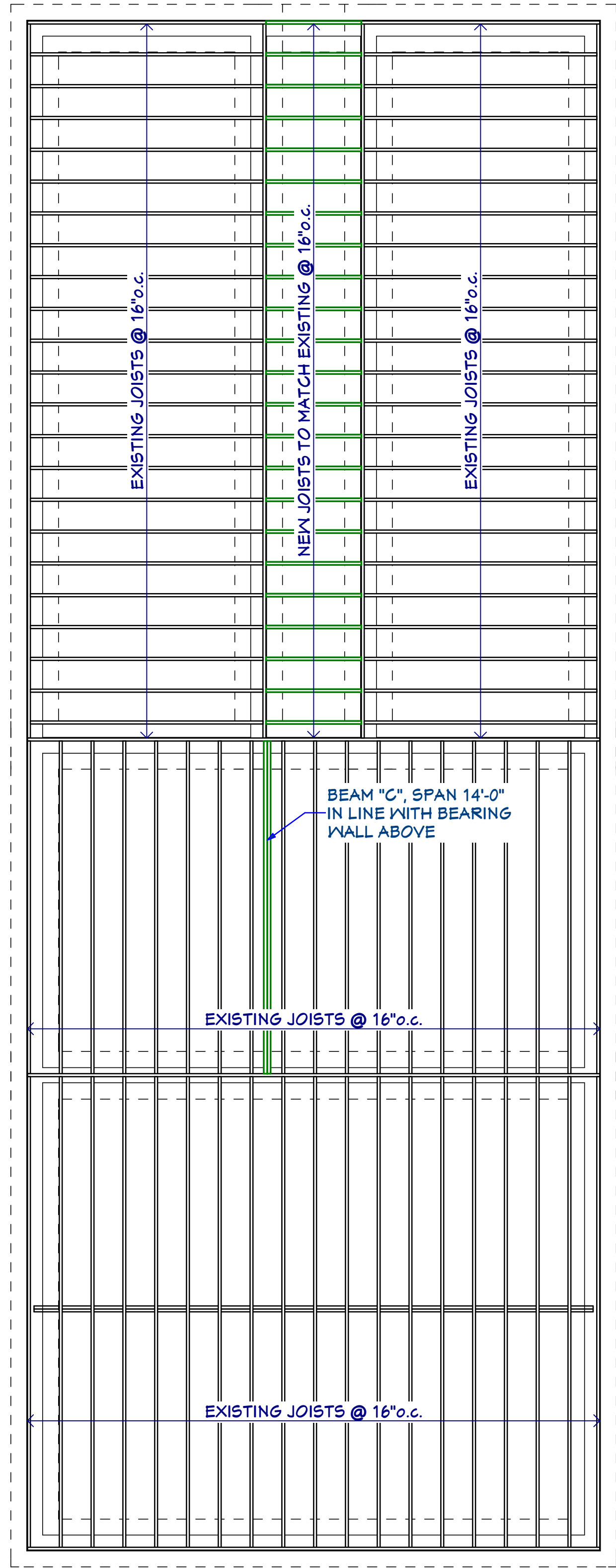
SHEET 2 OF 5



**3 ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**2 CEILING FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**1 FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

SHEET TITLE  
**FLOOR FRAMING PLAN  
CEILING FRAMING PLAN  
ROOF FRAMING PLAN**

A-2

SHEET 3 OF 5

PROJECT NAME:

DATE: 2/21/2022

PROJECT #22-1352

SCALE: AS NOTED

DRAWN BY: AJM

**59 ZION WERTSVILLE ROAD  
SKILLMAN, NJ 08558**

**LAS**

**Lionel A. Scriven  
Architect LLC**

45 Delaware Avenue  
Lambertville, New Jersey 08530  
609.947.4069 [LionelAScrivenArchitect.com](http://LionelAScrivenArchitect.com)

LIONEL A. SCRIVEN  
NJ REGISTRATION  
NUMBER 000000000  
PA REGISTRATION  
NUMBER AAO0890

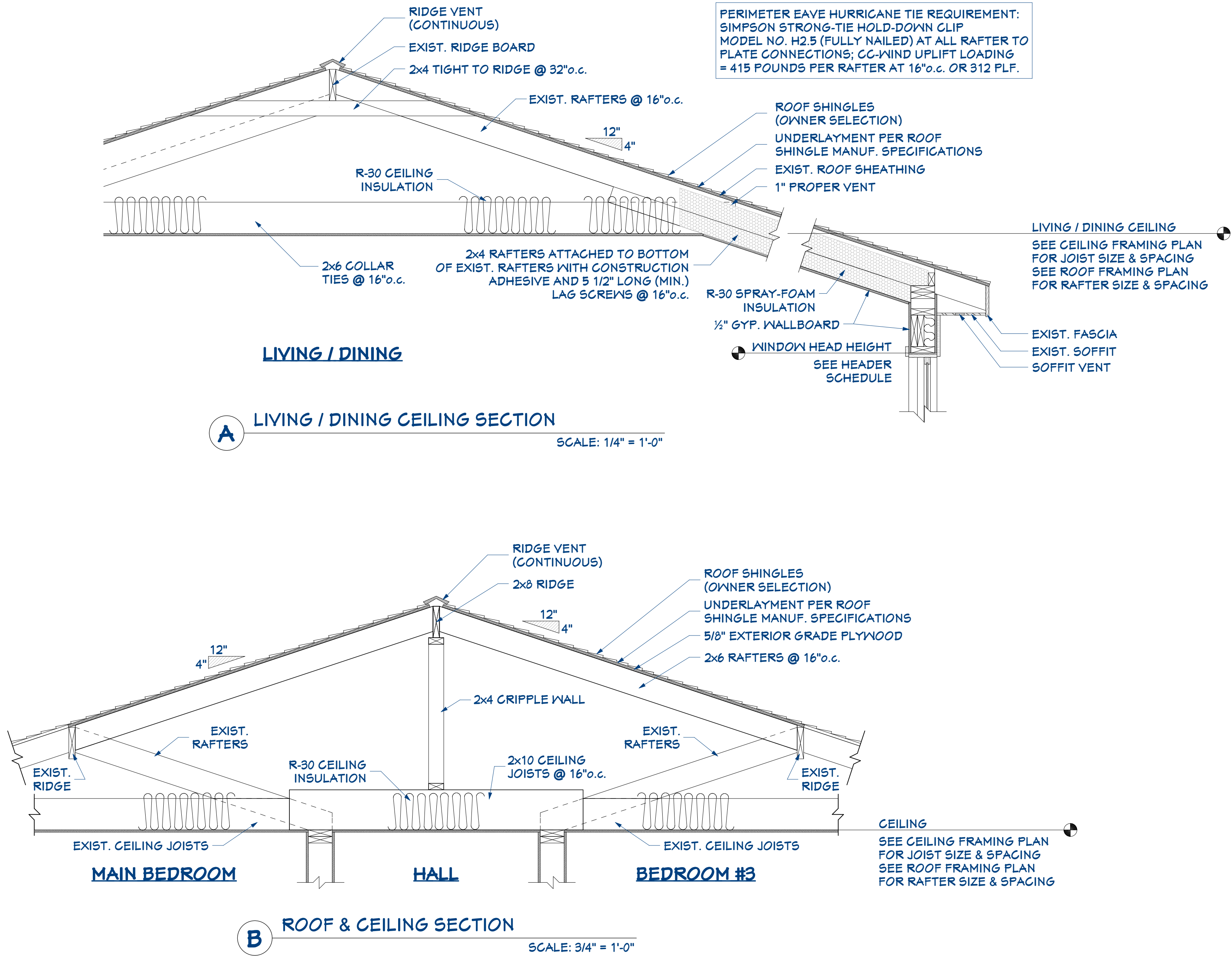
REVISIONS

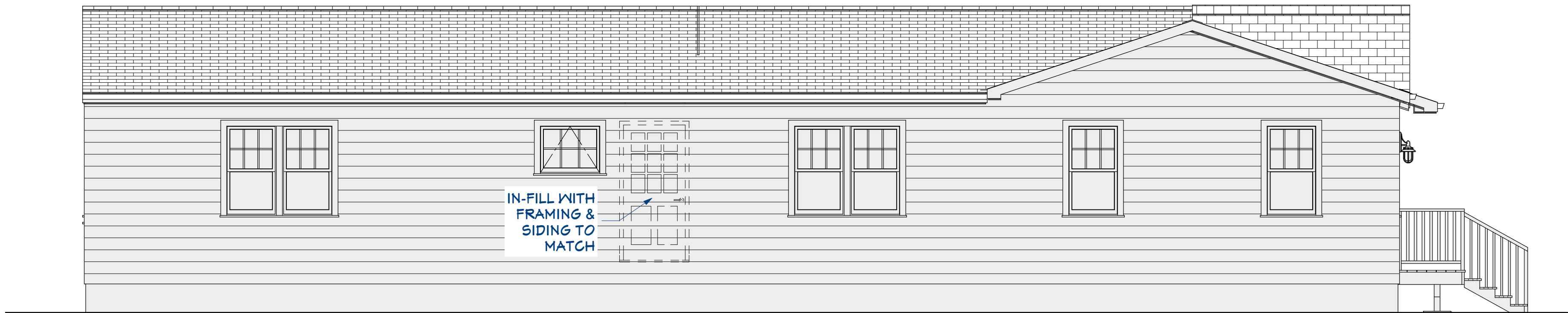
NO. DATE DESCRIPTION



TYPICAL FRAMING NOTES:

1. ALL STRUCTURAL LUMBER SHALL BE HEM FIR #2 OR BETTER, UNLESS OTHERWISE NOTED - TYPICAL
2. ALL BEAMS LABELED "PSL" TO BE 2.0E PARALLEL-STRAND ENGINEERED LUMBER BY TRUSS JOIST, UNLESS OTHERWISE NOTED - TYPICAL
3. ALL LUMBER LABELED "TREATED" TO BE ACQ. PRESSURE TREATED YELLOW PINE OR BETTER, UNLESS OTHERWISE NOTED - TYPICAL
4. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS - TYPICAL
5. ADD BLOCKING AND STIFFENERS AT CANTILEVERS AS PER MANUFACTURERS SPECIFICATIONS - TYPICAL
6. PROVIDE SOLID WOOD POSTS AT THE BEARING ENDS OF ALL GIRDERS UNLESS OTHERWISE NOTED. ALL POSTS TO BE A MINIMUM OF THE WIDTH OF THE GIRDER - TYPICAL
7. PROVIDE SOLID BLOCKING AT ALL POSTS AND BEARING POINTS AS REQUIRED - TYPICAL
8. PROVIDE FIRE BLOCKING AS REQUIRED
9. PROVIDE SIMPSON MTL JOIST / BEAM HANGERS AT ALL FLUSH JOIST APPLICATIONS - TYPICAL
10. LINES SHOWN FOR LOCATIONS OF JOISTS AND RAFTERS ARE DIAGRAMMATIC - NOT EXACT LOCATIONS
11. PROVIDE 2x4 AT 32" o.c. COLLAR TIES AT ALL ROOFS UNLESS OTHERWISE NOTED - TYPICAL
12. PROVIDE BRIDGING AT THE MID SPAN OF ALL JOISTS - TYPICAL
13. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE ACQ. PRESSURE TREATED. ALL FASTENERS AND FLASHING IN CONTACT WITH ACQ. PRESSURE TREATED LUMBER SHALL BE STAINLESS STEEL PF TRIPLE ZINC COATED - TYPICAL

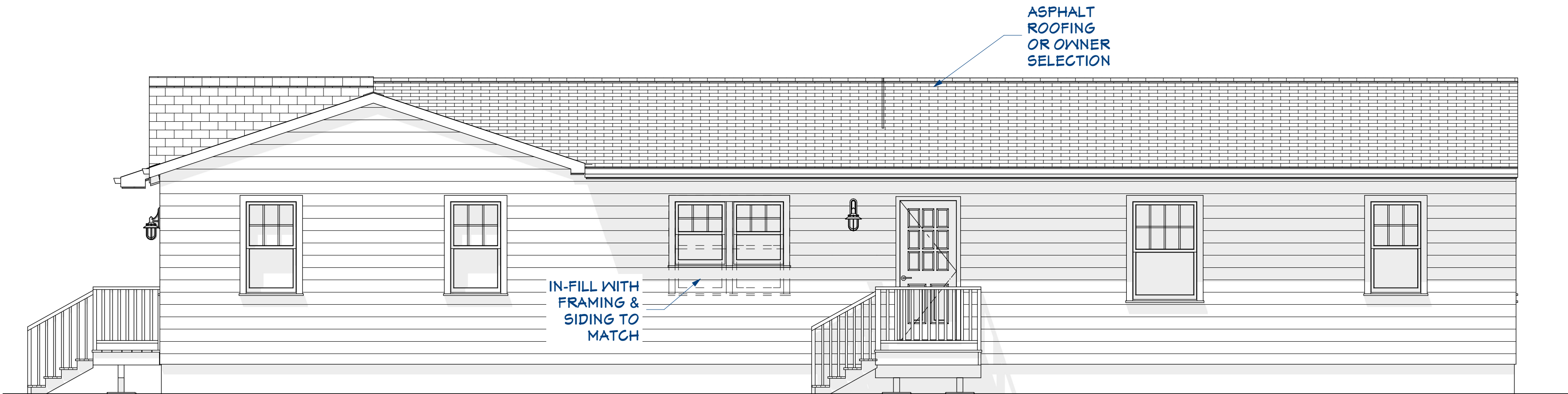




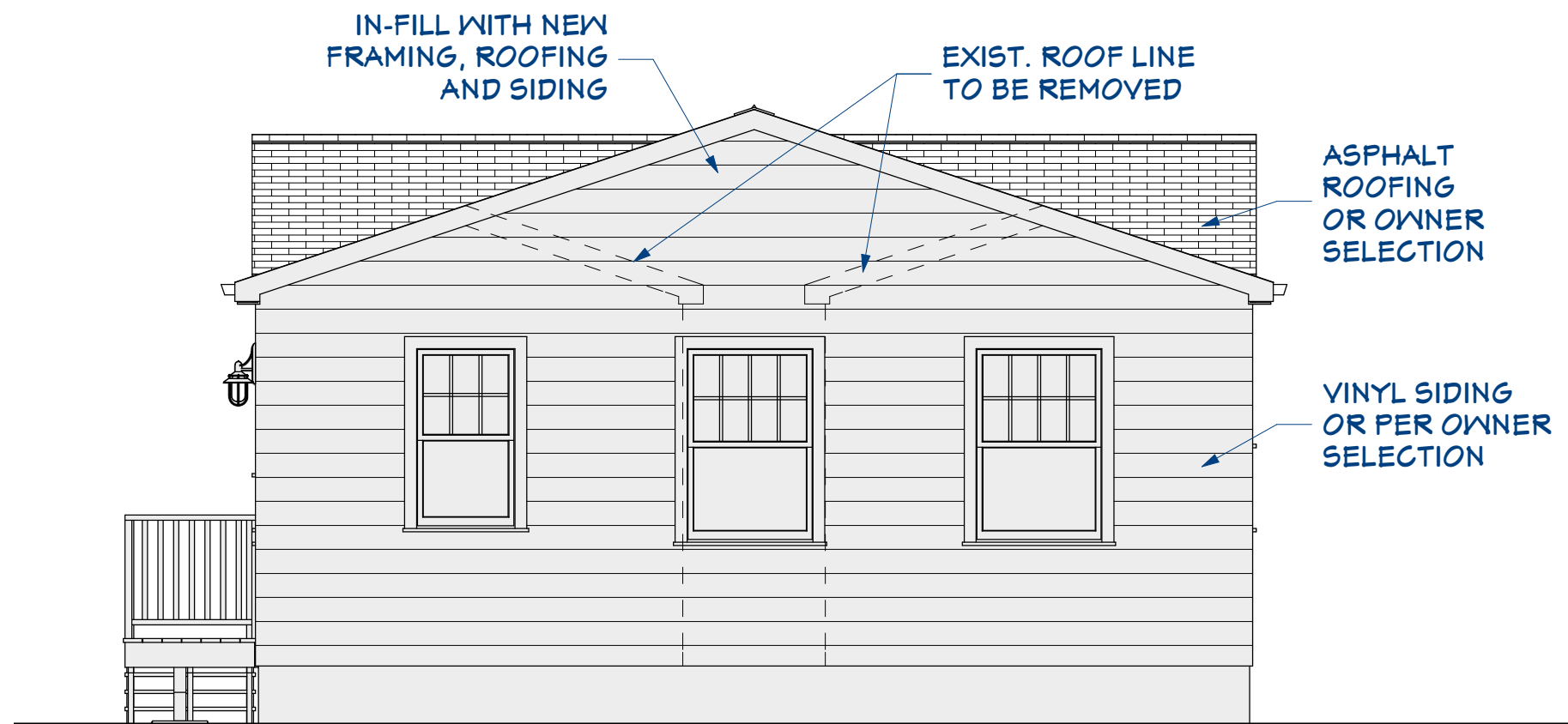
2 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



3 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION  
SCALE: 1/4" = 1'-0"