

PROPERTY OWNERS WITHIN 200 FT. OF SUBJECT PROPERTY  
TOWNSHIP OF MONTGOMERY, SOMERSET COUNTY, NEW JERSEY

PARCEL ID	ADDRESS	OWNER	DATE
28010 59	990 RT 518	K. T. CORPORATION 7 HOUSTEN COURT MARTINSVILLE, NJ	8/18/2021
28010 61	1290 RT 206	AMERICAN REALTY ASSOC%PRC:INNKEEPER 1600 HIGHWAY 34 NEPTUNE, NJ	08836
28010 62	1290 RT 206	AMERICAN REALTY ASSOC%PRC:INNKEEPER 1600 ROUTE 34 SUITE B NEPTUNE, NJ	07753
28010 64	1276 RT 206	MONTGOMERY 206 REALTY, LLC 1704-1714 WOODBRIDGE AVE. EDISON, NJ	07753 08817
29002 46	1925 RT 206	MONTPEN SC L.L.C. 902 CARNESIE CTR, STE 400 PRINCETON, NJ	08542
29002 46.S	182 CENTER DRIVE	MONTPEN SC L.L.C. 902 CARNESIE CTR, STE 400 PRINCETON, NJ	08540
29002 46.D1	RT 206	MONTGOMERY TOWNSHIP 2261 ROUTE 206 BELLE MEAD, NJ	08502
29002 47	RT 206	INTERSECTION BILLBOARDS LLC 226 KING GEORGE RD FENNINGTON, NJ	08534
29002 48	1273 RT 206	NM PROPERTIES, L.L.C. 928 WEST STATE STREET TRENTON, NJ	08650
29002 50	1026 RT 518	1026 RT 518 LLC 101 CRAWFORDS CORNER RD HOLMDEL, NJ	07733
34001 80	995 RT 518	1ST CONSTITUTION BANK 2650 ROUTE #130 CRANBURY, NJ	08512
35005 1	1251 RT 206	1251 ROUTE 206 PRINCETON, L.L.C. P.O. BOX 385 ALLENTOWN, PA	18105

# AMENDED PRELIMINARY AND FINAL SITE PLAN

# DUNKIN'

LOT 64 ~ BLOCK 28005

1276 ROUTE 206

## TOWNSHIP OF MONTGOMERY SOMERSET COUNTY, NEW JERSEY

DATE: FEBRUARY 2021

NO.	DATE	REVISION
2	9/15/2021	PER BOARD REVIEW COMMENTS
1	5/20/2021	PER TOWNSHIP COMPLETENESS REVIEW

ZONE TABLE				
HC-HIGHWAY COMMERCIAL 16-4.12	REQUIRED	EXISTING	PROPOSED - PRE R.O.W. DEDICATION	PROPOSED - POST R.O.W. DEDICATION
MIN. LOT AREA	1 ACRE	0.5197 AC	0.5197 AC (1)	0.5107 AC (2)
MIN. LOT FRONTAGE	150 FT	150.16 FT	150.16 FT	147.58 FT (2)
MIN. LOT WIDTH	150 FT	150.16 FT	150.16 FT	147.58 FT (2)
MIN LOT DEPTH	150 FT	151.68 FT	151.68 FT	151.68 FT
MIN FRONT YARD (3)	50 FT	61.55 FT	47.1 FT	45.1 FT (2)
MIN SIDE YARD (3)	25 FT	38.50 FT	49.6 FT	49.6 FT
MIN REAR YARD (3)	50 FT	49.3 FT	28.0 FT (2)	28.0 FT (2) (3)
MAX. % IMPERVIOUS LOT COVERAGE	55 %	73.1% (1) 16,554 SF	80.6% (2) 18,244 SF	81.3% (2) 18,091 SF
MAX. BUILDING HEIGHT	30 FT	< 30 FT	28.00 FT (4)	28.00 FT (4)
MAX. FLOOR AREA RATIO	0.20	0.063	0.081 1830 SF	0.082 1830 SF

- (1) EXISTING NON-COMFORMING
- (2) VARIANCE REQUIRED
- (3) MEASURED TO CANOPY, IF APPLICABLE
- (4) MEASURED TO TOP OF CUPOLA

**UTILITY COMPANIES REGISTERED TO RECEIVE NOTICE**

COMCAST CABLE COMPANY  
100 RANDOLPH ROAD  
SOMERSET, NJ 08873

NEW JERSEY AMERICAN WATER  
ATTN: DONNA SHORT, GIS SUPERVISOR  
1025 LAUREL OAK ROAD  
VORHEES, NJ 08043

CENTURY LINK  
ATTN: BOB O'CONNOR  
256 PAUL STREET  
BELVIDERE, NJ 07823

PUBLIC SERVICE ELECTRIC & GAS  
MANAGER-CORPORATE PROPERTIES  
80 PARK PLAZA-T6B  
NEWARK, NJ 07102

DEPARTMENT OF PUBLIC WORKS  
TOWNSHIP OF MONTGOMERY  
ATTN: ARTHUR VILLANO, SUPERINTENDANT  
2261 RT. 206  
BELLE MEAD, NJ 08502

**ROADS TO CONTACT**

COUNTY ROAD: COUNTY ROUTE 518 (GEORGETOWN-FRANKLIN TURNPIKE)  
STATE ROAD: STATE ROAD (ROUTE 206)

**CONTACTS BY ROAD TYPE:**

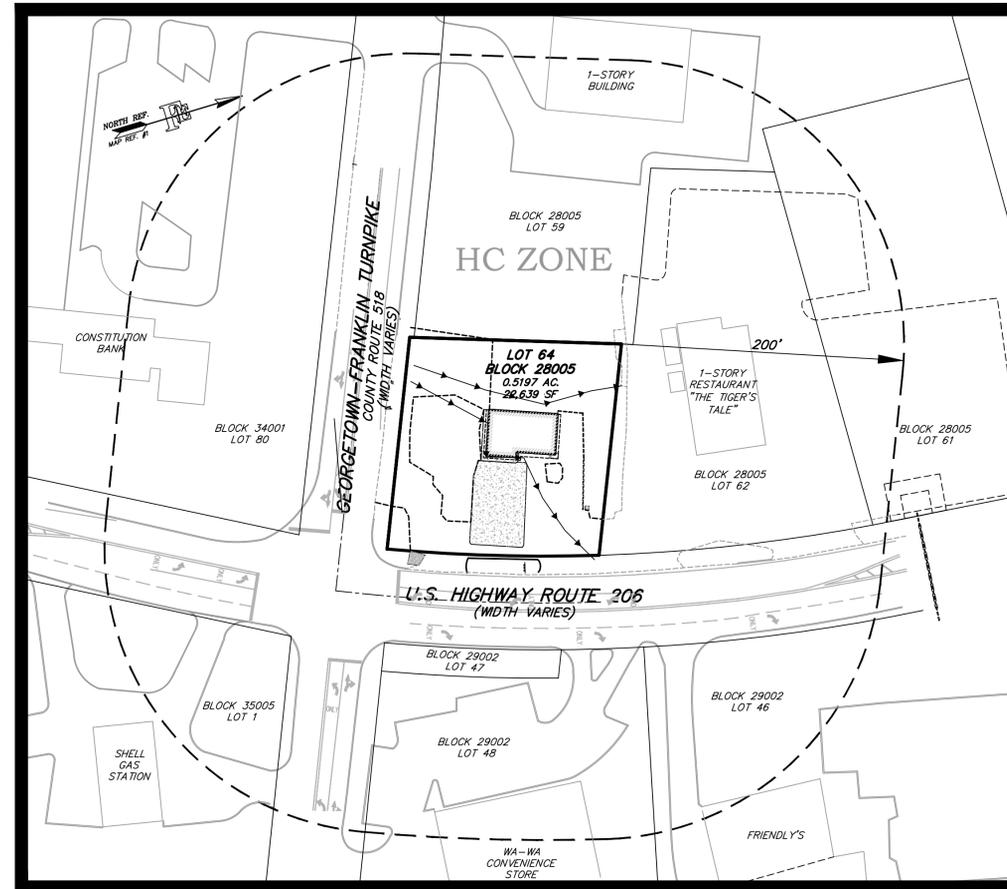
MUNICIPAL  
TOWNSHIP OF MONTGOMERY  
2261 RT. 206  
BELLE MEAD, NJ 08502

COUNTY  
SOMERSET COUNTY PLANNING BOARD  
P.O. BOX 3000  
SOMERVILLE, NJ 08876

STATE  
NJ DEPARTMENT OF TRANSPORTATION  
1035 PARKWAY AVE, CN600  
TRENTON, NJ 08625

**OUTSIDE AGENCY APPROVALS REQUIRED**

MONTGOMERY ZONING BOARD OF ADJUSTMENTS  
MONTGOMERY TWP. DEPARTMENT OF PUBLIC WORKS  
MONTGOMERY TWP. HEALTH DEPARTMENT  
SOMERSET COUNTY PLANNING BOARD  
SOMERSET COUNTY SOIL CONSERVATION DISTRICT  
DELAWARE & RARITAN CANAL COMMISSION  
NEW JERSEY DEPARTMENT OF TRANSPORTATION  
NEW JERSEY DEPT. OF ENVIRONMENTAL PROTECTION



KEY MAP  
SCALE: 1"=60'

MONTGOMERY TWP.  
TAX MAP SHEET #65

# AMENDED PRELIMINARY AND FINAL SITE PLAN FOR DUNKIN'

LOT 64 ~ BLOCK 28005  
TOWNSHIP OF MONTGOMERY  
SOMERSET COUNTY, NEW JERSEY

PLANS PREPARED BY  
**Ferriero Engineering, Inc**

180 MAIN STREET P.O. BOX 571  
CHESTER, NEW JERSEY 07930  
CERTIFICATE OF AUTHORIZATION 246A27935400

PAUL W. FERRIERO  
N.J. PROFESSIONAL ENGINEER  
DATE: 2/25/2021

FEI No. 141046

NO. **GE32978** SHEET 1 OF 14

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THIS SITE PLAN HAS BEEN APPROVED  
BY THE ZONING BOARD OF ADJUSTMENT  
OF MONTGOMERY TOWNSHIP

CHAIRMAN	DATE
SECRETARY	DATE
TOWN ENGINEER	DATE

SOMERSET COUNTY  
ACCEPTANCE STAMP

THESE PLANS ARE NOT ACCEPTABLE FOR  
CONSTRUCTION UNLESS THIS BLOCK IS STAMPED  
AND SIGNED BY A STAFF MEMBER OF THE  
SOMERSET COUNTY ENGINEERING DIVISION.

ATTORNEY:  
JEFFREY B. LEHRER, ESQ.  
15 MOUNTAIN BOULEVARD  
WARREN, NJ 07059  
908-757-8039

ARCHITECT:  
GARY KLIESCH  
GK+A ARCHITECTS, PC  
36 AMES AVENUE  
RUTHERFORD, NJ 07070  
201-896-0333

TRAFFIC ENGINEER:  
CRAIG PEREGOY, P.E.  
DYNAMIC ENGINEERING  
245 MAIN STREET, STE. 110  
CHESTER, NJ 07930  
908-879-9229

OWNER/APPLICANT:  
TONY NADAR  
MONTGOMERY 206 REALTY  
1714 WOODBRIDGE AVENUE  
EDISON, NJ 08817  
732-572-5000

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NOTE:  
ALL CONSTRUCTION SHALL CONFORM TO THE NEW  
JERSEY DEPARTMENT OF TRANSPORTATION STANDARD  
SPECIFICATIONS FOR ROAD AND BRIDGE  
CONSTRUCTION, LATEST EDITION.

THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND  
APPROVAL AND MAY NOT BE USED FOR CONSTRUCTION UNTIL ALL PERMITS HAVE BEEN OBTAINED

**GENERAL NOTES — APPLIES TO ALL SHEETS**

- THIS PROPERTY IS LOCATED IN THE HC ZONE AS DEPICTED ON THE MONTGOMERY TOWNSHIP TAX MAP SHEET 55.
- BOUNDARY AND EXISTING CONDITIONS FROM SURVEY ENTITLED, "LOCATION AND TOPOGRAPHIC SURVEY OF 1276 ROUTE 206, LOT 64 IN BLOCK 28005" DATED 4/21/2006, PREPARED BY BERTIN ENGINEERING ASSOCIATES, INC., GLEN ROCK, NJ.
- PROPOSED BUILDING FOOTPRINT FROM ARCHITECTURAL PLANS ENTITLED "PROPOSED DUNKIN', DATED SEPTEMBER 9, 2021, PREPARED BY OK+A ARCHITECTS, P.C., RUTHERFORD, NJ.
- EXISTING SANITARY SEWER INFORMATION TAKEN FROM A PLAN ENTITLED "SANITARY SEWER EXTENSION BLOCK 29002, LOT 46 & ROUTE 206 CONSTRUCTION PLAN & DETAILS" DATED SEPTEMBER 16, 2005, LAST REVISED SEPTEMBER 24, 2009 PREPARED BY MENLO ENGINEERING ASSOCIATES, INC., HIGHLAND PARK, NJ.
- SOIL BOUNDARIES AND IDENTIFICATIONS DEPICTED ON THE PLANS TAKEN FROM THE USDA WEB SOIL SURVEY. ALTHOUGH THIS PROJECT PROPOSES <1 ACRE OF DISTURBANCE AND <0.25 ACRES OF NEW IMPERVIOUS SURFACES, AND IS NOT CONSIDERED AN NUDEP "MAJOR DEVELOPMENT", THE SITE IS CLASSIFIED AS A "MAJOR DEVELOPMENT" PER THE TOWNSHIP'S ADOPTED ORDINANCE.
- ALL CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH TOWN STANDARDS AND INSPECTIONS AND AS GOVERNED BY THE 2007 U.S. CUSTOMARY ENGLISH STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION.
- CONTRACTOR TO NOTIFY TOWNSHIP ENGINEER 48 HOURS IN ADVANCE OF ANY LAND DISTURBANCE.
- THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THESE PLANS SHALL BE CONSIDERED CONSTRUCTION DOCUMENTS UNTIL ALL APPLICABLE PERMITS HAVE BEEN OBTAINED BY THE DEVELOPER. ALL CONDITIONS OF THE MUNICIPAL RESOLUTION HAVE BEEN SATISFIED, AND THE PLANS HAVE BEEN SIGNED BY THE BOARD CHAIR, BOARD SECRETARY AND BOARD ENGINEER.
- THESE PLANS ARE NOT VALID UNLESS SIGNED AND SEALED BY THE LICENSED PROFESSIONAL SHOWN HEREON.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING UTILITIES AND COORDINATING THE CONNECTION WITH MUNICIPALITY AND UTILITY COMPANIES.
- THERE SHALL BE NO BURYING OF DEBRIS, TREES, STUMPS OR CONSTRUCTION MATERIAL ONSITE.
- THE PROPOSED STRUCTURE IS TO BE SERVED BY PUBLIC WATER & SEWER.
- THERE ARE NO FRESHWATER WETLANDS AND WATERS PRESENT ON THE SUBJECT PROPERTY PER NUDEP L.O.I. FILE No: 1813-13-00021 ACTIVITY NUMBER FWM30001.
- THIS PROJECT IS NOT SUBJECT TO ANY FLOOD HAZARD AREAS OR SPECIAL WATER RESOURCE PROTECTION AREAS.
- THERE ARE NO CATEGORY ONE STREAMS AFFECTED BY THE PROPOSED CONSTRUCTION PER NUDEP GEO WEB MAPPING SOFTWARE.
- OWNER/APPLICANT/BUILDER/CONTRACTOR TO NOTIFY DESIGN ENGINEER IMMEDIATELY IF ANY PLAN INCONSISTENCIES EXIST.
- NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPILL.
- OUTSIDE AGENCY APPROVAL FROM THE SOMERSET COUNTY SOIL CONSERVATION DISTRICT AND THE SOMERSET COUNTY PLANNING BOARD.
- CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES ARE THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS AND ADDITIONS THERETO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S "OCCUPATIONAL SAFETY AND HEALTH STANDARDS" (OSHA); "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION OF THE STATE OF NEW JERSEY," DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING AND SAFETY; "CONSTRUCTION SAFETY CODE," AND "MAINTENANCE, CONSTRUCTION AND DEMOLITION," AND "BUILDING CODE".
- ALL SOIL TESTING FOR STRUCTURAL COMPONENTS TO BE DONE BY OTHERS. THIS INCLUDES BUT IS NOT LIMITED TO STRUCTURAL STABILITY, WATER TABLE ELEVATION, FOOTING DESIGN, PRESENCE OR ABSENCE OF BURIED OR UNSUITABLE MATERIAL, AND DEPTH TO ROCK. SITE DESIGN ENGINEER ACCEPTS NO LIABILITY FOR LOST TIME OR ADDITIONAL EXPENSE DUE TO CHANGES OCCURRING FROM AFORESAID CONDITIONS.
- BUILDER/OWNER/CONTRACTOR OR AUTHORIZED REPRESENTATIVE TO APPROVE PROPOSED BUILDING ELEVATIONS AND LOCATION PRIOR TO ANY EXCAVATION. IF CHANGES ARE REQUESTED, THE SITE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY. THE SITE ENGINEER ACCEPTS NO LIABILITY FOR LOST TIME OR ADDITIONAL EXPENSE DUE TO ANY CHANGES OCCURRING FROM FIELD MODIFICATIONS.
- THE OWNER, BY AUTHORIZING FERRIERO ENGINEERING, INC. TO PERFORM CONSTRUCTION STAKE OUT OF ANY COMPONENT OF THE WORK HAS ACKNOWLEDGED THEIR REVIEW AND APPROVAL OF THE LOCATION AND ELEVATION OF ALL IMPROVEMENTS SHOWN.
- THE STANDARD OF CARE FOR ALL PROFESSIONAL ENGINEERING AND RELATED SERVICES PERFORMED OR FURNISHED BY FEI UNDER THIS AGREEMENT WILL BE THE CARE AND SKILL ORDINARILY USED BY MEMBERS OF THE SUBJECT PROFESSION PRACTICING UNDER SIMILAR CIRCUMSTANCES AT THE SAME TIME AND IN THE SAME LOCALITY. FEI MAKES NO WARRANTIES, EXPRESS OR IMPLIED, UNDER THIS AGREEMENT OR OTHERWISE, IN CONNECTION WITH THE SERVICES PROVIDED.
- FERRIERO ENGINEERING, INC. MAY USE ALL INFORMATION CONTAINED IN OUTSIDE CONSULTANTS REPORTS, DATA, SURVEYS AND INSTRUCTIONS FROM THE CONSULTANTS THAT HAVE BEEN HIRED BY THE CLIENT TO WORK ON THIS PROJECT IN PERFORMING ITS SERVICES AND IS ENTITLED TO RELY UPON THE ACCURACY AND COMPLETENESS THEREOF. FEI SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY THE CLIENT AND/OR THE CLIENT'S CONSULTANTS AND/OR CONTRACTORS.
- FEI SHALL NOT AT ANY TIME SUPERVISE, DIRECT, OR HAVE CONTROL OVER ANY CONTRACTORS WORK, NOR SHALL FEI HAVE AUTHORITY OVER OR RESPONSIBILITY FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OF CONSTRUCTION SELECTED OR USED BY ANY CONTRACTOR, FOR SAFETY PRECAUTIONS AND PROGRAMS OF INCIDENTS TO A CONTRACTOR'S WORK PROGRESS, NOR FOR ANY FAILURE OF ANY CONTRACTOR TO COMPLY WITH LAWS AND REGULATIONS APPLICABLE TO CONTRACTORS WORK. THE CLIENT WAIVES ANY CLAIMS AGAINST FERRIERO ENGINEERING, INC. ARISING FROM ERRORS, OMISSIONS, OR INACCURACIES IN DOCUMENTS OR INFORMATION PROVIDED TO US BY OTHERS.
- FEI SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, SUPPLIER, OR OF ANY CONTRACTORS AGENTS OR EMPLOYEES OR ANY OTHER PERSONS AT THE PROJECT SITE OR OTHERWISE FURNISHING OR PERFORMING ANY CONSTRUCTION WORK, OR FOR ANY DECISION MADE ON INTERPRETATIONS OR CLARIFICATIONS OF THE CONSTRUCTION CONTRACT GIVEN BY CLIENT WITHOUT THE CONSULTATION AND ADVICE OF ENGINEER.
- ALL DESIGN DOCUMENTS PREPARED OR FURNISHED BY FEI ARE INSTRUMENTS OF SERVICE, AND FEI RETAINS AN OWNERSHIP AND PROPERTY INTEREST (INCLUDING COPYRIGHT AND THE RIGHT TO REUSE) IN SUCH DOCUMENTS, WHETHER OR NOT THE PROJECT IS COMPLETED. THE CLIENT MAY OBTAIN COPIES FOR INFORMATION AND REFERENCE IN CONNECTION WITH THE PROJECT PROVIDED THAT FEES FOR SERVICES RENDERED HAVE BEEN PAID IN FULL. IN ADDITION, THE REASONABLE COSTS OF RESEARCH AND REPRODUCTION FOR COPIES OF RECORDS SHALL BE PAID.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOIL WASTE TO BE DEPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE EXISTING UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL INFORMATION. THE CONTRACTOR SHALL CALL UNDERGROUND UTILITIES (800) 272-1000 FOR MARKOUT PRIOR TO EXCAVATION. TEST PITS SHALL BE EXCAVATED BY THE CONTRACTOR AT ALL CROSSINGS PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS, AND SIZES. TEST PIT DATA SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED FACILITY.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO CONSTRUCTION.
- STRUCTURES AND IMPROVEMENTS ON ADJACENT PROPERTIES ARE APPROXIMATE PER AERIAL PHOTOGRAPHY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE AT THE CONTRACTORS OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG SURFACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- SANITARY LATERALS SHALL BE PVC SCHEDULE 40 OR PVC SDR 35 UNLESS INDICATED OTHERWISE.
- ADJACENT IMPROVEMENTS AND STRUCTURES TAKEN FROM AERIAL PHOTOGRAPHY.
- AN AS-BUILT PLAN CERTIFIED BY A PROFESSIONAL LAND SURVEYOR SHALL BE SUPPLIED AT THE COMPLETION OF CONSTRUCTION.
- A NEW JERSEY PROFESSIONAL ENGINEER SHALL CERTIFY THE CONSTRUCTED IMPROVEMENTS ARE BUILT IN ACCORDANCE WITH THE APPROVED PLANS.
- THIS PROJECT WILL REQUIRE 66 CY OF EXPORT. CONTRACTOR TO VERIFY PRIOR TO EXPORTING ANY MATERIAL, APPROVAL FROM MONTGOMERY TOWNSHIP PLANNING BOARD IS REQUIRED.
- MAXIMUM NUMBER OF 4 EMPLOYEES FOR THE MORNING SHIFT, 3 EMPLOYEES FOR THE AFTERNOON SHIFT AND 2 EMPLOYEES FOR THE EVENING SHIFT.
- HOURS OF OPERATION ARE FROM 8AM TO 10 PM 7 DAYS A WEEK.

SOILS CLASSIFICATION AND ENGINEERING SOIL PROPERTIES			
MAP SYMBOL	SOIL SERIES	SLOPE	HYDROLOGIC SOIL GROUP
BhB	BIRDSBORO SILT LOAM	2-6%	B

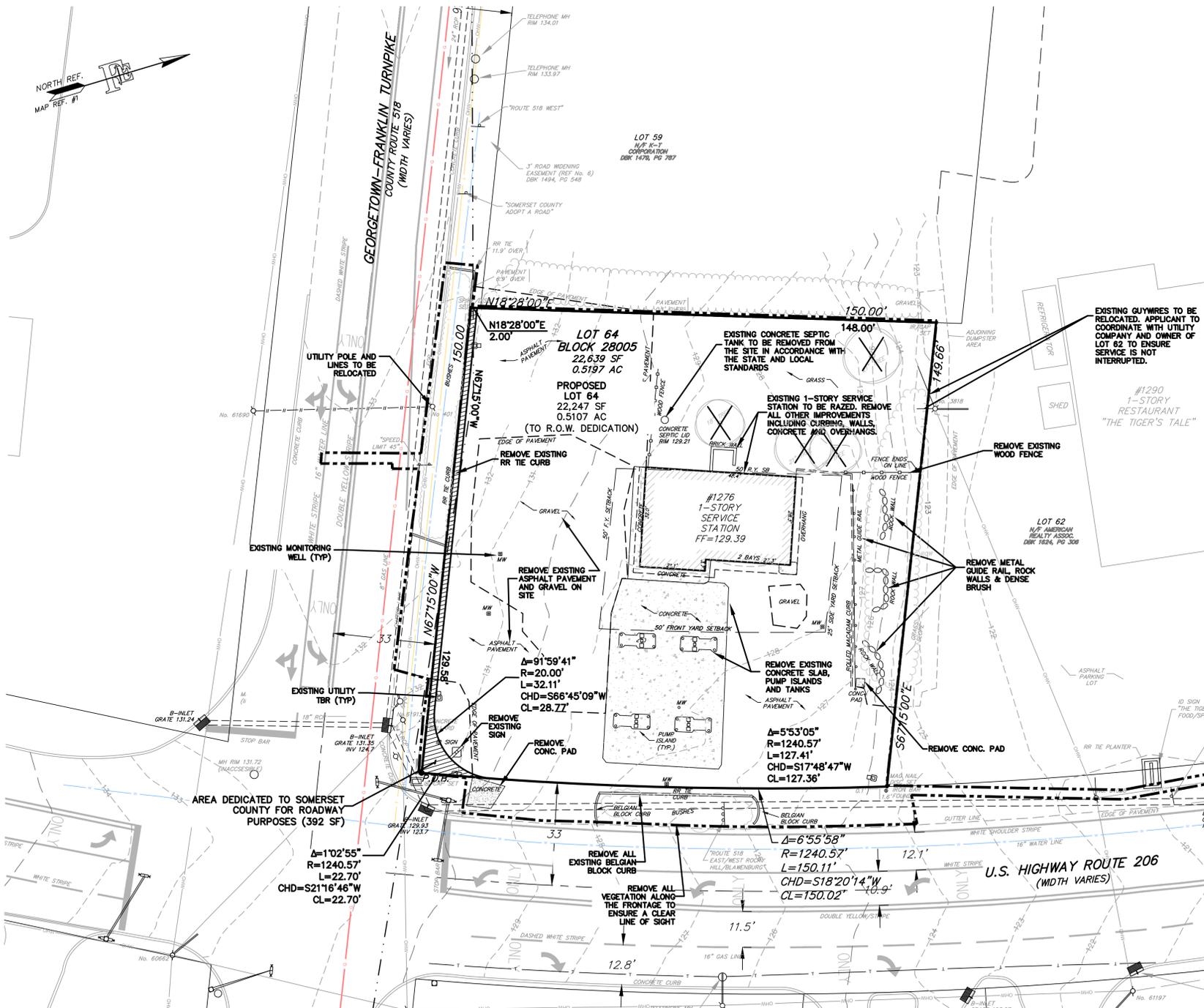
**REFERENCE:**  
ENGINEERING SOIL PROPERTIES, AND CLASSIFICATIONS, TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE WEB SOIL SURVEY, PREPARED BY THE USDA NATURAL RESOURCES CONSERVATION SERVICE.

- NOTE:**
- REMOVE ALL EXISTING SITE LIGHTS AND SIGN POSTS.
  - NO TREES ARE TO BE REMOVED FROM LOT 59.
  - EXISTING TREE ROW AND BUSHES ALONG THE NORTHERN, WESTERN AND SOUTHERN PROPERTY LINES CONTAIN TREES HAVING A CALIPER OF SIX (6) INCHES OR MORE MEASURED FOUR AND ONE HALF (4-1/2) INCHES ABOVE GROUND LEVEL.
  - UNDERGROUND STORAGE TANK REMOVAL & ABANDONMENT SHALL BE CONDUCTED IN ACCORDANCE WITH APPROVED CLOSURE PLAN PREPARED BY OTHERS.
  - NO CONSTRUCTION DEBRIS/MATERIALS ARE TO BE BURIED ONSITE. ALL EXCAVATED CONSTRUCTION MATERIALS MUST BE HAULED AWAY TO AN APPROVED REFUSE SITE PER LOCAL, STATE AND FEDERAL REGULATIONS.
  - EXISTING ASPHALT AND OTHER RECYCLABLE MATERIALS REMOVED DURING DEMOLITION SHALL BE DELIVERED TO AN APPROVED FACILITY FOR RECYCLING.

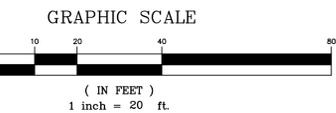
**EXISTING UTILITY NOTE:**  
THE EXISTING UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL INFORMATION. THE CONTRACTOR SHALL CALL UNDERGROUND UTILITIES (800) 272-1000 FOR MARKOUT PRIOR TO EXCAVATION. TEST PITS SHALL BE EXCAVATED BY THE CONTRACTOR AT ALL CROSSINGS PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS, AND SIZES. TEST PIT DATA SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED.

**\*DEMOLITION NOTES:**

- CONTRACTOR TO OBTAIN DEMOLITION PERMIT FROM MONTGOMERY TOWNSHIP BUILDING DEPARTMENT.
- CONTRACTOR TO CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS. MAINTAIN ACCESS TO THE SITE AT ALL TIME.
- REMOVE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM SITE.
- REMOVE ALL STRUCTURE FOUNDATIONS (WALL FOOTINGS, BUILDING FOOTINGS) COMPLETELY & DISPOSE OF OFF-SITE PER LOCAL, STATE AND FEDERAL REGULATIONS. EXCAVATION AREA FOR EXISTING FOOTINGS SHALL BE BACKFILLED WITH MATERIAL APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND IDENTIFYING ALL ON-SITE UNDERGROUND UTILITIES AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF WORK. THIS SHALL BE IN ADDITION TO THE MARK-OUT RESULTING FROM (1-800-272-1000) NJ ONE-CALL MARK-OUT. IF UTILITIES ARE DISCOVERED FROM THE MARK-OUT THAT ARE NOT SHOWN ON THE PLAN, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY BEFORE PROCEEDING WITH TEST PIT EXCAVATION WORK.
- CONTRACTOR SHALL PROVIDE TEMPORARY DRAINAGE AS NEEDED TO KEEP THE SITE FREE OF STANDING WATER & MUD.



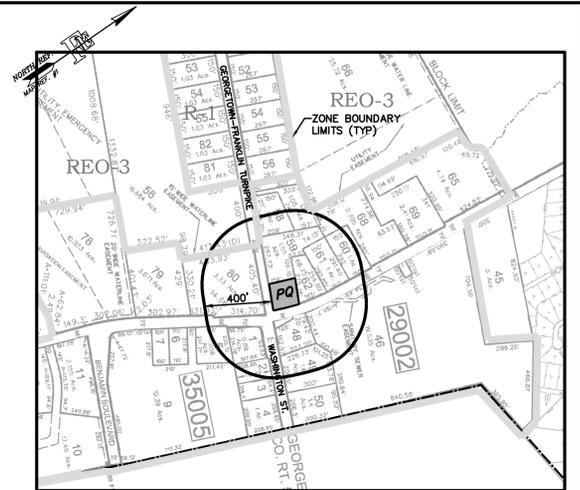
**DEMOLITION PLAN**



EXISTING IMPERVIOUS AREA CALCULATIONS	
IMPROVEMENTS AREAS	AREAS
EX. SERVICE STATION BUILDING W/ OVERHANG	1,718 SF
EXISTING PAVEMENT	8,930 SF
EXISTING CONCRETE/WALKS	2,363 SF
EXISTING GRAVEL AREAS	3,543 SF
TOTAL EXISTING IMPERVIOUS	16,554 SF (73.1%)

ZONE TABLE				
HC-HIGHWAY COMMERCIAL 16-4.12	REQUIRED	EXISTING	PROPOSED - PRE R.O.W. DEDICATION	PROPOSED - POST R.O.W. DEDICATION
MIN. LOT AREA	1 ACRE	0.5197 AC	0.5197 AC (1)	0.5107 AC (2)
MIN. LOT FRONTAGE	150 FT	150.16 FT	150.16 FT	147.58 FT (2)
MIN. LOT WIDTH	150 FT	150.16 FT	150.16 FT	147.58 FT (2)
MIN. LOT DEPTH	150 FT	151.68 FT	151.68 FT	151.68 FT
MIN FRONT YARD (3)	50 FT	61.55 FT	47.1 FT	45.1 FT (2)
MIN SIDE YARD (3)	25 FT	38.50 FT	49.6 FT	49.6 FT
MIN REAR YARD (3)	50 FT	49.3 FT	28.0 (2)	28.0 FT (2) (3)
MAX. % IMPERVIOUS LOT COVERAGE	55 %	73.1% (1) 16,554 SF	80.6% (2) 18,244 SF	81.3% (2) 18,091 SF
MAX. BUILDING HEIGHT	30 FT	< 30 FT	28.00 FT (4)	28.00 FT (4)
MAX. FLOOR AREA RATIO	0.20	0.063	0.081 1830 SF	0.082 1830 SF

- EXISTING NON-CONFORMING
- VARIANCE REQUIRED
- MEASURED TO CANOPY, IF APPLICABLE
- MEASURED TO TOP OF CUPOLA



**LEGEND**

- 540 --- EXISTING CONTOUR LINE
- 520 --- PROPOSED CONTOUR LINE
- 516.3 --- EXISTING SPOT GRADE
- + 640.00 --- PROPOSED SPOT GRADE
- EXISTING CURB LINE
- PROPOSED CURB LINE
- EXISTING INLET
- PROPOSED INLET
- EXISTING STORM/SAN PIPE
- PROPOSED STORM SEWER
- EXISTING SITE LIGHT
- G --- EXISTING GAS LINE
- W --- EXISTING WATER LINE
- EXISTING OVERHEAD WIRE
- EXISTING UTILITY POLE
- EXISTING STONE WALL
- EXISTING FENCE
- PROPOSED CONCRETE
- EXISTING SITE LIGHT
- EXISTING TREE TO BE REMOVED
- INLET SEDIMENT CONTROL DEVICE

**Ferriero Engineering, Inc.**  
180 MAIN STREET P.O. BOX 571  
CHESTER, NEW JERSEY 07930  
908-879-6209  
CERTIFICATE OF AUTHORIZATION 24CA27935400

**DEMOLITION PLAN**

**DUNKIN'!**

LOT 64 BLOCK 28005  
MONTGOMERY TOWNSHIP  
SOMERSET COUNTY  
NEW JERSEY

SHEET 2 OF 14

DATE: 2/25/2021 PROJECT NO: 141046

THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL AND MAY NOT BE USED FOR CONSTRUCTION UNTIL ALL PERMITS HAVE BEEN OBTAINED

**GENERAL NOTES - APPLIES TO ALL SHEETS**

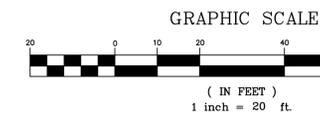
- THIS PROPERTY IS LOCATED IN THE HC ZONE AS DEPICTED ON THE MONTGOMERY TOWNSHIP TAX MAP SHEET 55.
- BOUNDARY AND EXISTING CONDITIONS FROM SURVEY ENTITLED, "LOCATION AND TOPOGRAPHIC SURVEY OF 1276 ROUTE 206, LOT 64 IN BLOCK 28001" DATED 4/21/2006, PREPARED BY BERTIN ENGINEERING ASSOCIATES, INC., GLEN ROCK, NJ.
- PROPOSED BUILDING FOOTPRINT FROM ARCHITECTURAL PLANS ENTITLED PROPOSED DUNKIN', DATED SEPTEMBER 9, 2021, PREPARED BY OK-A ARCHITECTS, P.C., RUTHERFORD, NJ.
- EXISTING SANITARY SEWER INFORMATION TAKEN FROM A PLAN ENTITLED "SANITARY SEWER EXTENSION BLOCK 29002, LOT 46 & ROUTE 206 CONSTRUCTION PLAN & DETAILS" DATED SEPTEMBER 16, 2005, LAST REVISED SEPTEMBER 24, 2009 PREPARED BY MENLO ENGINEERING ASSOCIATES, INC., HIGHLAND PARK, NJ.
- SOIL BOUNDARIES AND IDENTIFICATIONS DEPICTED ON THE PLANS TAKEN FROM THE USDA WEB SOIL SURVEY. ALTHOUGH THIS PROJECT PROPOSES <1 ACRE OF DISTURBANCE AND <0.25 ACRES OF NEW IMPERVIOUS SURFACES, AND IS NOT CONSIDERED A NUDEP "MAJOR DEVELOPMENT", THE SITE IS CLASSIFIED AS A "MAJOR DEVELOPMENT" PER THE TOWNSHIP'S ADOPTED ORDINANCE.
- ALL CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH TOWN STANDARDS AND INSPECTIONS AND AS GOVERNED BY THE 2007 U.S. CUSTOMARY ENGLISH STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION.
- CONTRACTOR TO NOTIFY TOWNSHIP ENGINEER 48 HOURS IN ADVANCE OF ANY LAND DISTURBANCE.
- THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THESE PLANS SHALL NOT BE CONSIDERED CONSTRUCTION DOCUMENTS UNTIL ALL APPLICABLE PERMITS HAVE BEEN OBTAINED BY THE DEVELOPER, ALL CONDITIONS OF THE MUNICIPAL RESOLUTION HAVE BEEN SATISFIED, AND THE PLANS HAVE BEEN SIGNED BY THE BOARD CHAIR, BOARD SECRETARY AND BOARD ENGINEER.
- THESE PLANS ARE NOT VALID UNLESS SIGNED AND SEALED BY THE LICENSED PROFESSIONAL SHOWN HEREON.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND. CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING UTILITIES AND COORDINATING THE CONNECTION WITH MUNICIPALITY AND UTILITY COMPANIES.
- THERE SHALL BE NO BURYING OF DEBRIS, TREES, STUMPS OR CONSTRUCTION MATERIAL ON-SITE.
- THE PROPOSED STRUCTURE IS TO BE SERVED BY PUBLIC WATER & SEWER.
- THERE ARE NO FRESHWATER WETLANDS AND WATERS PRESENT ON THE SUBJECT PROPERTY PER NUDEP L.O.I. FILE NO. 1813-13-00021 ACTIVITY NUMBER FW130001.
- THIS PROJECT IS NOT SUBJECT TO ANY FLOOD HAZARD AREAS OR SPECIAL WATER RESOURCE PROTECTION AREAS.
- THERE ARE NO CATEGORY ONE STREAMS AFFECTED BY THE PROPOSED CONSTRUCTION PER NUDEP GEO WEB MAPPING SOFTWARE.
- OWNER/APPLICANT/BUILDER/CONTRACTOR TO NOTIFY DESIGN ENGINEER IMMEDIATELY IF ANY PLAN INCONSISTENCIES EXIST.
- NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL.
- OUTSIDE AGENCY APPROVALS ARE REQUIRED FROM THE SOMERSET COUNTY SOIL CONSERVATION DISTRICT AND THE SOMERSET COUNTY PLANNING BOARD.
- CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS AND ADDITIONS THERETO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S "OCCUPATIONAL SAFETY AND HEALTH STANDARDS" (OSHA); SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION OF THE STATE OF NEW JERSEY, DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING AND SAFETY, "CONSTRUCTION SAFETY CODE," AND "MAINTENANCE, CONSTRUCTION AND DEMOLITION," AND "BUILDING CODE."
- ALL SOIL TESTING FOR STRUCTURAL COMPONENTS TO BE DONE BY OTHERS. THIS INCLUDES BUT IS NOT LIMITED TO STRUCTURAL STABILITY, WATER TABLE ELEVATION, FOOTING DESIGN, PRESENCE OR ABSENCE OF BURIED OR UNSUITABLE MATERIAL AND DEPTH TO ROCK. SITE DESIGN ENGINEER ACCEPTS NO LIABILITY FOR LOSS OF TIME OR ADDITIONAL EXPENSE DUE TO CHANGES OCCURRING FROM ADDRESSING CONDITIONS.
- BUILDER/OWNER/CONTRACTOR OR AUTHORIZED REPRESENTATIVE TO APPROVE PROPOSED BUILDING ELEVATIONS AND LOCATION PRIOR TO ANY EXCAVATION. IF CHANGES ARE REQUESTED, THE SITE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY. THE SITE ENGINEER ACCEPTS NO LIABILITY FOR LOSS OF TIME OR ADDITIONAL EXPENSE DUE TO ANY CHANGES OCCURRING FROM FIELD MODIFICATIONS.
- THE OWNER, FERRIERO ENGINEERING, INC. TO PERFORM CONSTRUCTION STAKE OUT OF ANY COMPONENT OF THE WORK HAS ACKNOWLEDGED THEIR REVIEW AND APPROVAL OF THE LOCATION AND ELEVATION OF ALL IMPROVEMENTS SHOWN.
- THE STANDARD OF CARE FOR ALL PROFESSIONAL ENGINEERING AND RELATED SERVICES PERFORMED OR FURNISHED BY FEI UNDER THIS AGREEMENT WILL BE THE CARE AND SKILL ORDINARILY USED BY MEMBERS OF THE SUBJECT PROFESSION PRACTICING UNDER SIMILAR CIRCUMSTANCES AT THE SAME TIME AND IN THE SAME LOCALITY. FEI MAKES NO WARRANTIES, EXPRESSED OR IMPLIED, UNDER THIS AGREEMENT OR OTHERWISE IN CONNECTION WITH THE SERVICES PROVIDED.
- FERRIERO ENGINEERING, INC. MAY USE ALL INFORMATION CONTAINED IN OUTSIDE CONSULTANTS REPORTS, DATA, SURVEYS AND INSTRUCTIONS FROM THE CONSULTANTS THAT HAVE BEEN HIRED BY THE CLIENT TO WORK ON THIS PROJECT IN PERFORMING ITS SERVICES AND IS ENTITLED TO RELY UPON THE ACCURACY AND COMPLETENESS THEREOF. FEI SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY THE CLIENT AND/OR THE CLIENT'S CONSULTANTS AND/OR CONTRACTORS.
- FEI SHALL NOT AT ANY TIME SUPERVISE, DIRECT, OR HAVE CONTROL OVER ANY CONTRACTORS WORK, NOR SHALL FEI HAVE AUTHORITY OVER OR RESPONSIBILITY FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OF CONSTRUCTION SELECTED OR USED BY ANY CONTRACTOR, FOR SAFETY PRECAUTIONS AND PROGRAMS OF INCIDENTS TO A CONTRACTOR'S WORK PROGRESS, NOR FOR ANY FAILURE OF ANY CONTRACTOR TO COMPLY WITH LAWS AND REGULATIONS APPLICABLE TO CONTRACTORS WORK. THE CLIENT WAIVES ANY CLAIMS AGAINST FERRIERO ENGINEERING, INC. ARISING FROM ERRORS, OMISSIONS, OR INACCURACIES IN DOCUMENTS OR INFORMATION PROVIDED TO US BY OTHERS.
- FEI SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, SUPPLIER, OR OF ANY CONTRACTORS AGENTS OR EMPLOYEES OR ANY OTHER PERSONS AT THE PROJECT SITE OR OTHERWISE FURNISHING OR PERFORMING ANY CONSTRUCTION WORK, OR FOR ANY DECISION MADE ON INTERPRETATIONS OR CLARIFICATIONS OF THE CONSTRUCTION CONTRACT GIVEN BY CLIENT WITHOUT THE CONSULTATION AND ADVICE OF ENGINEER.
- ALL DESIGN DOCUMENTS PREPARED OR FURNISHED BY FEI ARE INSTRUMENTS OF SERVICE, AND FEI RETAINS AN OWNERSHIP AND PROPERTY INTEREST (INCLUDING COPYRIGHT AND THE RIGHT TO REUSE) IN SUCH DOCUMENTS, WHETHER OR NOT THE PROJECT IS COMPLETED. THE CLIENT MAY OBTAIN COPIES FOR INFORMATION AND REFERENCE IN CONNECTION WITH THE PROJECT PROVIDED THAT FEES FOR SERVICES RENDERED HAVE BEEN PAID IN FULL. IN ADDITION, THE REASONABLE COSTS OF RESEARCH AND REPRODUCTION FOR COPIES OR RECORDS SHALL BE PAID.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR ANY CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE EXISTING UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL INFORMATION. THE CONTRACTOR SHALL CALL UNDERGROUND UTILITIES 1 (800) 272-1000 FOR MARKOUT PRIOR TO EXCAVATION. TEST PITS SHALL BE EXCAVATED BY THE CONTRACTOR AT ALL CROSSINGS PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS, AND SIZES. TEST PIT DATA SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED.
- EXCAVATED UNSUITABLE MATERIAL SHALL BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO CONSTRUCTION.
- STRUCTURES AND IMPROVEMENTS ON ADJACENT PROPERTIES ARE APPROXIMATE PER AERIAL PHOTOGRAPHY.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE AT THE CONTRACTORS OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB SURFACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- SANITARY LATERALS SHALL BE PVC SCHEDULE 40 OR PVC SDR 35 UNLESS INDICATED OTHERWISE.
- ADJACENT IMPROVEMENTS AND STRUCTURES TAKEN FROM AERIAL PHOTOGRAPHY.
- AN AS-BUILT PLAN CERTIFIED BY A PROFESSIONAL LAND SURVEYOR SHALL BE SUPPLIED AT THE COMPLETION OF CONSTRUCTION.
- A NEW JERSEY PROFESSIONAL ENGINEER SHALL CERTIFY THE CONSTRUCTED IMPROVEMENTS ARE BUILT IN ACCORDANCE WITH THE APPROVED PLANS.
- THIS PROJECT WILL REQUIRE EXPORT OF EXPORT CONTRACTOR TO VERIFY, PRIOR TO EXPORTING ANY MATERIAL, APPROVAL FROM MONTGOMERY TOWNSHIP PLANNING BOARD IS REQUIRED.
- MAXIMUM NUMBER OF 4 EMPLOYEES FOR THE MORNING SHIFT, 3 EMPLOYEES FOR THE AFTERNOON SHIFT AND 2 EMPLOYEES FOR THE EVENING SHIFT.
- HOURS OF OPERATION ARE FROM 5AM TO 10 PM 7 DAYS A WEEK.

**STANDARD CONSTRUCTION NOTES FOR ROAD IMPROVEMENTS**

- Prior to the initiation of any excavation or construction within any street, road, or right of way under the jurisdiction of the Somerset County Board of Chosen Freeholders, a Somerset County Road Opening Permit shall be obtained from the Office of the County Engineer.
- The Office of the County Engineer is to be notified seventy-two (72) hours in advance of commencement of construction of any improvements under the jurisdiction of the County of Somerset. Grade construction sheets will be submitted at this time. These grade construction sheets are to be signed and sealed by a professional land surveyor.
- As indicated in the "Manual on Uniform Traffic Control Devices," proper and sufficient construction warning signs are to be provided and maintained by contractors performing construction work along County roads. Said signs are to be maintained until construction is completed and approved by the appropriate County inspection personnel.
- All improvements under the jurisdiction of the County of Somerset are to be constructed in accordance with Somerset County Specifications.
- All mailboxes, located within the construction improvements in the County R.O.W. will be reset in accordance with the owner of the mailbox and the postmaster.
- Information monuments, markers, disks, rivets of the National Geodetic Control Survey may be obtained from the New Jersey Department of Transportation, Geodetic Division, 1035 Parkway Avenue, Trenton, NJ, telephone #(609) 530-5641; or the Somerset County Engineering Division, telephone #(908) 231-7024, ext. 7512.
- The New Jersey Geodetic Control Survey, at the above address, is to be notified two (2) weeks in advance of commencement of construction of any improvements in order to preserve the resetting of existing monuments, or installation of new monuments if required by the County.

OFF-STREET PARKING SCHEDULE	
BASED ON SECTION 16-4.12g	
RESTAURANTS:	
ONE (1) PARKING SPACE FOR EVERY THREE (3) SEATS	
14 SEATS PROPOSED	
14 SEATS/3.....	4.67 SPACES
TOTAL SPACES REQUIRED = 5.0 SPACES	
TOTAL SPACES PROVIDED = 11.0 SPACES	
(1) ONE VAN ACCESSIBLE PARKING SPACE PROVIDED	

OFF-STREET LOADING SCHEDULE	
BASED ON SECTION 16.4.12h	
ONE LOADING SPACE REQUIRED (15' X 40')	
NO DEDICATED LOADING SPACE PROVIDED	
LOADING TO BE PERFORMED DURING OFF PEAK HOURS USING DRIVE AISLES (V)	
(V) VARIANCE REQUIRED	

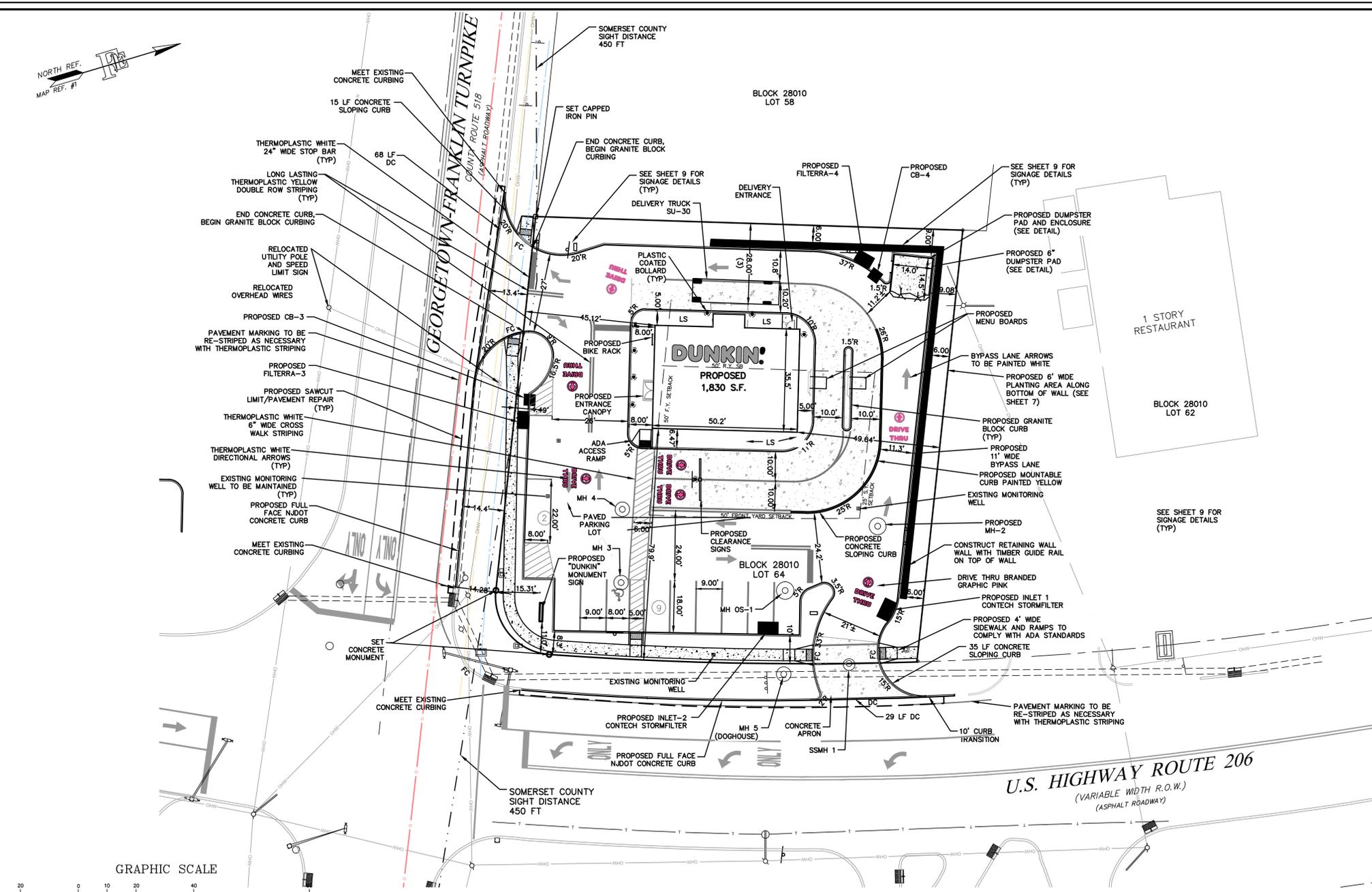


VARIANCES/DESIGN WAIVERS APPROVED SEPT. 22, 2015:

- 16-6.1m(1): D-3 VARIANCE REQUESTED FOR DRIVE THROUGH WINDOW FOR RESTAURANT. DUNKIN' INTENDS TO HAVE A DRIVE THROUGH WINDOW NOT LOCATED WITHIN A SHOPPING CENTER.
- 16-6.1m(2): D-3 VARIANCE REQUESTED FOR A DRIVE THROUGH WINDOW FOR DUNKIN' RESTAURANT WITH DIRECT VEHICULAR ACCESS TO A PUBLIC STREET.
- 16-4.12.d: MINIMUM LOT AREA REQUIREMENT IS 1 ACRE WHERE THE PROPOSED LOT AREA IS 0.5107 AC.
- 16-4.12.d: MINIMUM LOT WIDTH AND FRONTAGE REQUIREMENT IS 150 FEET WHERE THE PROPOSED IS 143.46 FEET.
- 16-4.12.d: MINIMUM LOT DEPTH REQUIREMENT IS 150 FT WHERE THE PROPOSED IS 147.59 FT.
- 16-4.12.d: MINIMUM REAR YARD REQUIREMENT IS 50 FT WHERE THE PROPOSED IS 33.5 FT.
- 16-4.12.d: LOT COVERAGE, THE MAXIMUM ALLOWABLE IS 55% WHERE 78.5% IS PROPOSED.
- 16-4.12e.5.a VISUAL BREAKS, THE BUILDING WILL HAVE BREAKS IN COLOR AND FINISHES.
- 16-4.12e.5.d FRONT FACADE SHALL BE CONTINUED AROUND ALL VISIBLY EXPOSED SIDES. STONE FINISH WAS ADDED TO ALL SIDES OF BUILDING.
- 16-4.12.e.6.c ROOF TREATMENT, DECORATIVE FENCING WAS ADDED TO FLAT ROOF
- 16-4.12.e.7.b WINDOWS TO OCCUPY 75% OF FIRST STORY FACADE, 42% PROPOSED
- 11.1. 16-4.12.f.4.a & 16-4.12(f.5): NO PARKING AREA SHALL BE PERMITTED WITHIN THE FIRST TWENTY-FIVE (25) FEET ADJACENT TO ANY STREET NOR WITHIN THE FIRST FIFTEEN (15) FEET ADJACENT TO ANY OTHER PROPERTY LINE, WHEREAS 3.0' IS PROPOSED ALONG COUNTY ROUTE 518 AND 9.1' ALONG STATE HIGHWAY ROUTE 206.
- 16-4.12.h: OFF STREET LOADING SPACE REQUIRED AT SIDE OR REAR OF BUILDING. NO LOADING SPACE PROVIDED.
- 16-4.12.i: (1) FREE STANDING SIGN PERMITTED, 1 SIGN PROPOSED AND 2 MENU BOARDS PROPOSED.
- 16-5.4.b: THE AVERAGE LIGHT INTENSITY SHALL BE NO MORE THAN 1.0 FC WHERE 2.1 FC IS PROVIDED.

**REQUESTED VARIANCES/DESIGN WAIVERS**

- 16-4.12.d: MINIMUM FRONT YARD REQUIREMENT IS 50 FT WHERE THE PROPOSED IS 45.1 FT.
- 16-4.12.d: MINIMUM REAR YARD REQUIREMENT IS 50 FT WHERE THE PROPOSED IS 28.0 FT.
- 16-4.12.d: LOT COVERAGE, THE MAXIMUM ALLOWABLE IS 55% WHERE 81.3% IS PROPOSED.
- 16-4.12.e.5.c BUILDINGS WITH 2 FRONTAGES SHALL HAVE 2 FACADES, DRIVE-UP WINDOW PROPOSED ON 518 FRONTAGE
- 16-4.12.f.3 REQUIRES 45% OF LOT TO BE LANDSCAPED, 2,865SF OR 12.9% PROPOSED
- 16-4.12.f.4.a & 16-4.12.f.5: NO PARKING AREA SHALL BE PERMITTED WITHIN THE FIRST TWENTY-FIVE (25) FEET ADJACENT TO ANY STREET NOR WITHIN THE FIRST FIFTEEN (15) FEET ADJACENT TO ANY OTHER PROPERTY LINE, WHEREAS 4.4' IS PROPOSED ALONG COUNTY ROUTE 518 AND 8.3' ALONG STATE HIGHWAY ROUTE 206.
- 16-4.12.f.5 REQUIRES A 15' SETBACK FROM THE PROPERTY LINE FOR ALL STRUCTURES, PROPOSED PARKING, DRIVEWAY 7.1' AND RETAINING WALL ARE CLOSER TO PROPERTY LINE. FACE OF RETAINING WALL LOCATED ALONG NORTHERLY AND WESTERLY PROPERTY LINES IS 6.0' TO PROPERTY LINE.
- 16-5.4.b: THE AVERAGE LIGHT INTENSITY SHALL BE NO MORE THAN 1.0 FC WHERE 1.1 FC IS PROVIDED.
- 16-5.6.e.15 STREET TREES REQ'D. AT 50' INTERVALS, 2 STREET TREES PROPOSED, A VARIANCE IS REQUIRED FOR THIS ITEM.
- 16-5.13.f.5 ON-SITE DIRECTIONAL SIGNS, PARKING SIGNS, WARNING SIGNS AND OTHER SIMILAR SIGNS SHALL BE PERMITTED, PROVIDED THEY DO NOT EXCEED TWO SQUARE FEET IN AREA AND NOT DISPLAY ANY TYPE OF ADVERTISING.
- DIRECTIONAL SIGNS PROPOSED 2 SF REQUIRED, GREATER THAN 2 SF PROPOSED, SIGN SIZES VARY.
- 16-8.3(23) LOCATION AND DETAILS FOR ALL EXTERNAL LIGHTING SYSTEMS.
- 16-8.4(29) PLANS, PROFILES AND DETAILS OF PROPOSED IMPROVEMENTS.

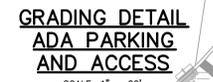
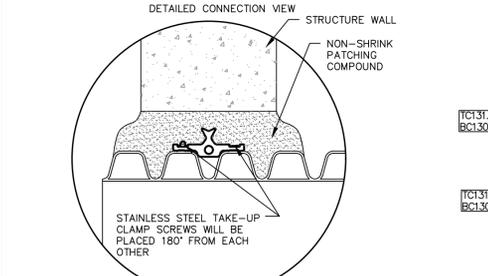


**IMPORTANT NOTES:**

- CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS AND ADDITIONS THERETO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S "OCCUPATIONAL SAFETY AND HEALTH STANDARDS" (OSHA); "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE STATE OF NEW JERSEY, DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING AND SAFETY; "CONSTRUCTION SAFETY CODE," AND "MAINTENANCE, CONSTRUCTION AND DEMOLITION," AND "BUILDING CODE."
- ALL SOIL TESTING FOR STRUCTURAL COMPONENTS TO BE DONE BY OTHERS. THIS INCLUDES BUT IS NOT LIMITED TO STRUCTURAL STABILITY, WATER TABLE ELEVATION, FOOTING DESIGN, PRESENCE OR ABSENCE OF BURIED OR UNSUITABLE MATERIAL AND DEPTH TO ROCK. SITE DESIGN ENGINEER ACCEPTS NO LIABILITY FOR LOST TIME OR ADDITIONAL EXPENSE DUE TO CHANGES OCCURRING FROM AFORESAID CONDITIONS.
- BUILDER/OWNER/CONTRACTOR OR AUTHORIZED REPRESENTATIVE TO APPROVE PROPOSED BUILDING ELEVATIONS AND LOCATION PRIOR TO ANY EXCAVATION. IF CHANGES ARE REQUESTED, THE SITE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY. THE SITE ENGINEER ACCEPTS NO LIABILITY FOR LOST TIME OR ADDITIONAL EXPENSE DUE TO ANY CHANGES OCCURRING FROM FIELD MODIFICATIONS.
- THE OWNER, BY AUTHORIZING FERRERO ENGINEERING, INC. TO PERFORM CONSTRUCTION STAKE OUT OF ANY COMPONENT OF THE WORK HAS ACKNOWLEDGED THEIR REVIEW AND APPROVAL OF THE LOCATION AND ELEVATION OF ALL IMPROVEMENTS SHOWN.
- THESE PLANS ARE NOT VALID UNLESS SIGNED AND SEALED BY THE LICENSED PROFESSIONAL SHOWN HEREON.
- OWNER/APPLICANT/BUILDER/CONTRACTOR TO NOTIFY DESIGN ENGINEER IF ANY PLAN INCONSISTENCIES EXIST.
- CUT SHEETS FOR CURBING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW PRIOR TO INSTALLING CURBING.
- AN AS-BUILT PLAN CERTIFIED BY A PROFESSIONAL LAND SURVEYOR SHALL BE SUPPLIED AT THE COMPLETION OF CONSTRUCTION.
- A NEW JERSEY PROFESSIONAL ENGINEER SHALL CERTIFY THE CONSTRUCTED IMPROVEMENTS ARE BUILT IN ACCORDANCE WITH THE APPROVED PLANS.

**NOTE:**

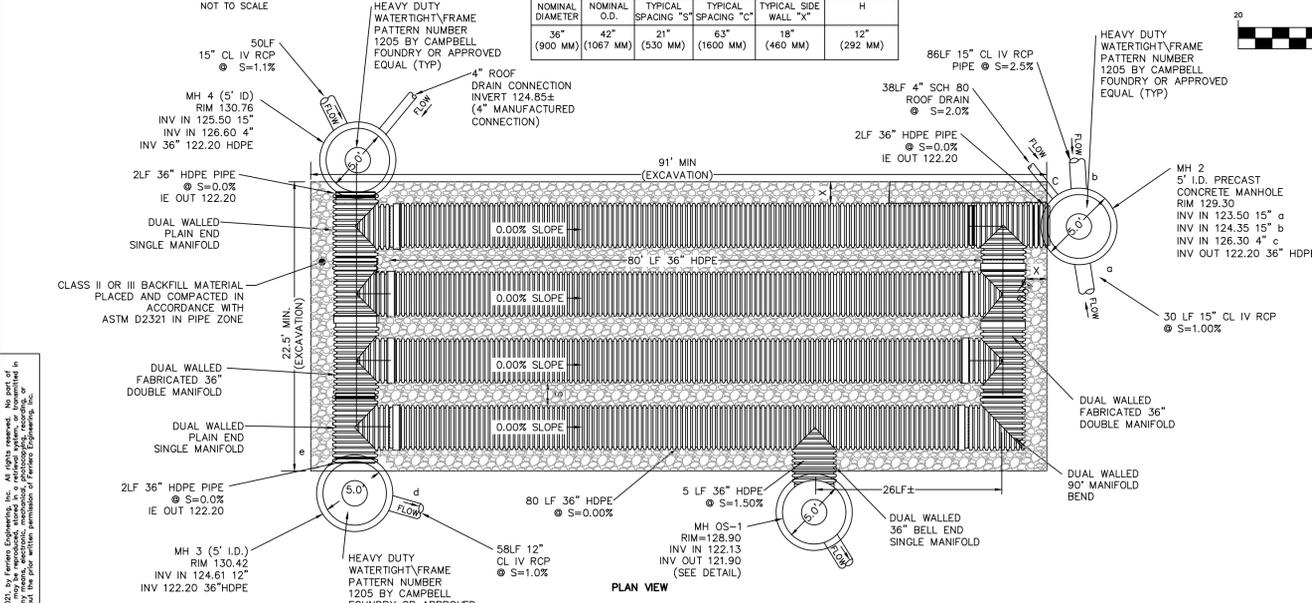
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PIPE SIZE	PIPE O.D.	A-PROFILE	H-PROFILE	*A" MIN. HOLE DIA.	MIN. DISTANCE PIPE INVERT TO STRUCTURE INVERT	ADS PRODUCT CODES
36"	41.1"	41.1"	47.00"	5.5"	5.5"	3602PS
(900mm)	(1043.9mm)	(1043.9mm)	(1193.8mm)	(139.7mm)		

- NOTES:**
- PERFORMANCE HIGHLY DEPENDS ON INSTALLATION. CONTRACTOR MUST ENSURE MANHOLE GASKET IS UNIFORMLY SEATED AROUND STRUCTURE ADAPTER. EXTRA PRECAUTIONS MUST BE TAKEN TO PREVENT DIFFERENTIAL SETTLEMENT BETWEEN THE PIPE AND MANHOLE.

**36" HDPE WATERSTOP GROUDED  
STRUCTURE CONNECTION**

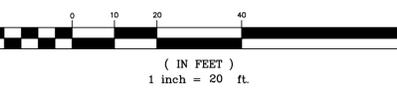


**UNDERGROUND DETENTION SYSTEM**

NOT TO SCALE

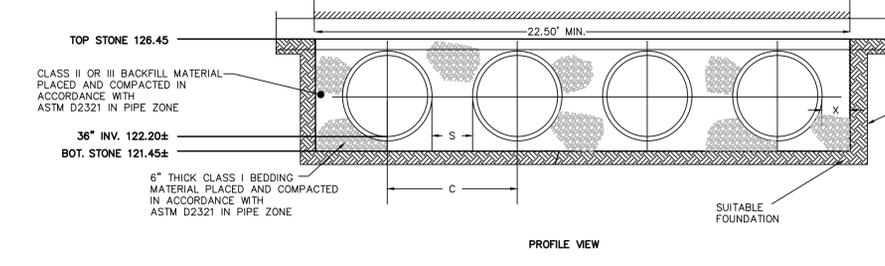
**GRADING, DRAINAGE & UTILITY PLAN**

**GRAPHIC SCALE**



**NOTES:**

- ALL PIPING FOR THE RETENTION SYSTEM SHALL BE SOLID 36-INCH DIAMETER DUAL WALLED CORRUGATED N-12 POLYETHYLENE WATER TIGHT PIPE MANUFACTURED BY ADS OR EQUIV.
- DETENTION SYSTEM OPEN EXCAVATION DIMENSIONS: (22'-6" x 91'-0" MIN.)



**PROPOSED SANITARY SEWER FLOW PER DAY (NJAC 7:14A-23.3)**

FAST FOOD RESTAURANT: 15 GAL/DAY/SEAT  
14 SEATS  
210 GAL/DAY

SANITARY SEWER DISCHARGES TO STAGE II SEWAGE TREATMENT PLANT NJ0026905

**Cut/Fill Report**

Generated: 2021-09-15 11:04:39  
By user: AHanson  
Drawing: Z:\141046\DWG\BASEMAPS\Montgomery Twp\Revision 9-2:141046\DWG\BASEMAPS\Montgomery Twp\Revision 9-2:141046-BASEMAP REV9.dwg

Volume Summary	Name	Type	Cut Factor	Fill Factor	2d Area (Sq Ft)	Cut (Cu Yd)	Fill (Cu Yd)	Net (Cu Yd)
Volume	fill	1.000	1.000	15028.72	10.28	324.05	313.76-Fill	
Total				15028.72	10.28	324.05	313.76-Fill	

\* Value adjusted by cut or fill factor other than 1.0

PROPOSED UNDERGROUND DETENTION SYSTEM:  
22.5' x 91' x 5' = 10237CF / 27 = 380CY  
380 - 314 = 66CY EXPORT

**LEGEND**

- 540 --- EXISTING CONTOUR LINE
- ===== 520 ===== PROPOSED CONTOUR LINE
- 516.3 EXISTING SPOT GRADE
- + 640.00 PROPOSED SPOT GRADE
- ===== EXISTING CURB LINE
- ===== PROPOSED CURB LINE
- ===== EXISTING INLET
- ===== PROPOSED INLET
- ===== EXISTING STORM/SAN PIPE
- ===== PROPOSED STORM SEWER
- ===== EXISTING SITE LIGHT
- ===== PROPOSED SITE LIGHT
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD WIRE
- ===== EXISTING UTILITY POLE
- ===== EXISTING STONE WALL
- ===== EXISTING FENCE
- ===== PROPOSED CONCRETE
- ===== EXISTING SITE LIGHT
- DC DEPRESSED CURB
- FC FLUSH CURB WITH PAVEMENT
- GF GUTTER FLOW
- SS SANITARY SEWER

**BUILDING HEIGHT:**

MEAN SPOT GRADE ELEVATION ALONG BUILDING  
130.60+131.50+131.50+130.94+130.06+130.45+130.75=915.80/7=130.83

PER 16-21 DEFINITIONS - BUILDING HEIGHT SHALL MEAN THE VERTICAL DISTANCE MEASURED TO THE HIGHEST POINT OF A BUILDING FROM THE MEAN ELEVATION OF THE FINISHED GRADES ALONG ALL SIDES OF THE BUILDING PROVIDED THAT IF THE FINISHED GRADE IS HIGHER THAN THE PREDEVELOPMENT GRADE AT ANY POINT BENEATH THE BUILDING, THEN THE BUILDING HEIGHT SHALL BE MEASURED FROM AN ELEVATION NO HIGHER THAN ONE FOOT ABOVE THE HIGHEST POINT OF THE PREDEVELOPMENT GRADE BENEATH THE BUILDING.

\*EXISTING GRADE AT EXISTING BUILDING = 129.1, 129.1 + 1.0 = 130.1 MEAN ELEVATION  
MAXIMUM BUILDING HEIGHT ELEVATION AT TOP OF ROOF = 154.33  
MAXIMUM BUILDING HEIGHT ELEVATION AT TOP OF CUPOLA = 159.50

MAXIMUM BUILDING HEIGHT (TOP OF ROOF) = (154.33-130.10) = 24.23'  
MAXIMUM BUILDING HEIGHT (TOP OF CUPOLA) = (159.50-130.10) = 29.40'

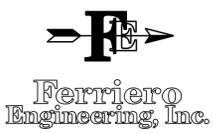
\*AVERAGE SPOT GRADE ELEVATION DETERMINED USING THE HIGHEST POINT OF THE PREDEVELOPMENT GRADE BENEATH THE EXISTING BUILDING PLUS ONE FOOT.

NO.	DATE	REVISION
2	9/15/2021	PER BOARD REVIEW COMMENTS
1	5/20/2021	PER TWP COMPLETENESS REVIEW

DRAWN BY: SCALE: FIELD BOOK:  
AMH 1" = 20'

CHKD BY: FILE:  
PWF H:\046\DWG\BASEMAPS\BASEMAPS-9-2020

PAUL W. FERRERO  
N.J. PROFESSIONAL ENGINEER  
NO. GE32978



180 MAIN STREET P.O. BOX 571  
CHESTER, NEW JERSEY 07930  
908-879-6209

CERTIFICATE OF AUTHORIZATION 24GA27935400

**GRADING, DRAINAGE & UTILITY PLAN**

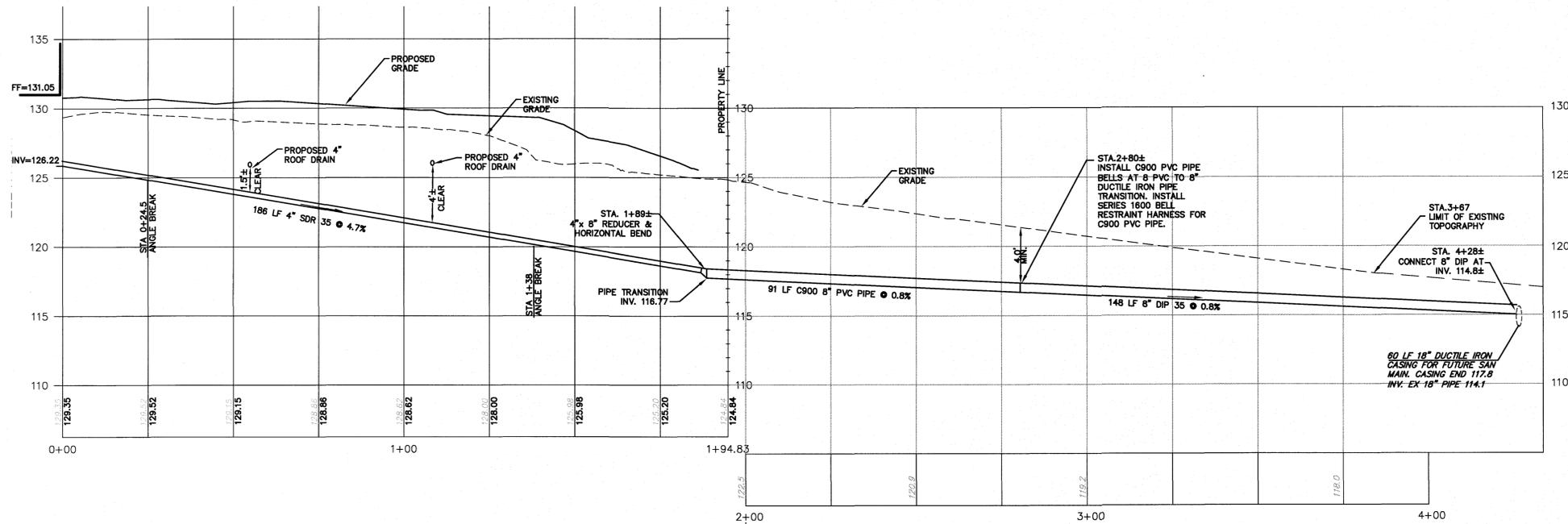
**DUNKIN!**

LOT 64 BLOCK 28005  
MONTGOMERY TOWNSHIP  
SOMERSET COUNTY  
NEW JERSEY

SHEET  
4 OF 14

DATE: 2/25/2021 PROJECT NO:  
REVISION: 141046

THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL AND MAY NOT BE USED FOR CONSTRUCTION UNTIL ALL PERMITS HAVE BEEN OBTAINED



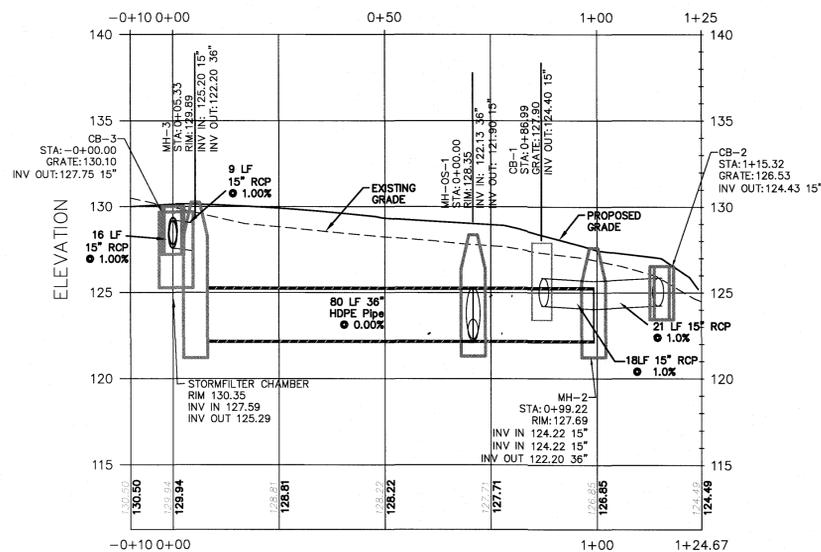
**SANITARY SEWER PROFILE**

SCALE: 1" = 20' HORIZ.  
1" = 5' VERT.

**PROPOSED SANITARY SEWER FLOW PER DAY (NJAC 7:14A-23.3)**

FAST FOOD RESTAURANT: 15 GAL/DAY/SEAT  
14 SEATS  
210 GAL/DAY

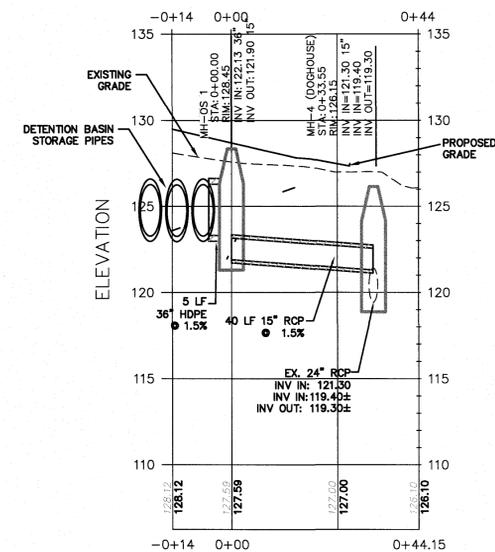
SANITARY SEWER DISCHARGES TO STAGE II SEWAGE TREATMENT PLANT NJ0026905



**DRAINAGE PIPES TO DETENTION BASIN**

SCALE: 1" = 20' HORIZ.  
1" = 5' VERT.

NOT UPDATED



**DETENTION BASIN TO OUTFALL**

SCALE: 1" = 20' HORIZ.  
1" = 5' VERT.

**IMPORTANT NOTES:**

- CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS AND ADDITIONS THERE TO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S "OCCUPATIONAL SAFETY AND HEALTH STANDARDS" (OSHA); "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE STATE OF NEW JERSEY, DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING AND SAFETY, "CONSTRUCTION SAFETY CODE," AND "MAINTENANCE, CONSTRUCTION AND DEMOLITION," AND "BUILDING CODE".
- ALL SOIL TESTING FOR STRUCTURAL COMPONENTS TO BE DONE BY OTHERS. THIS INCLUDES BUT IS NOT LIMITED TO STRUCTURAL STABILITY, WATER TABLE ELEVATION, FOOTING DESIGN, PRESENCE OR ABSENCE OF BURIED OR UNSUITABLE MATERIAL AND DEPTH TO ROCK. SITE DESIGN ENGINEER ACCEPTS NO LIABILITY FOR LOST TIME OR ADDITIONAL EXPENSE DUE TO CHANGES OCCURRING FROM AFORESAID CONDITIONS.
- BUILDER/OWNER/CONTRACTOR OR AUTHORIZED REPRESENTATIVE TO APPROVE PROPOSED BUILDING ELEVATIONS AND LOCATION PRIOR TO ANY EXCAVATION. IF CHANGES ARE REQUESTED, THE SITE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY. THE SITE ENGINEER ACCEPTS NO LIABILITY FOR LOST TIME OR ADDITIONAL EXPENSE DUE TO ANY CHANGES OCCURRING FROM FIELD MODIFICATIONS.
- THE OWNER, BY AUTHORIZING FERRIERO ENGINEERING, INC. TO PERFORM CONSTRUCTION STAKE OUT OF ANY COMPONENT OF THE WORK HAS ACKNOWLEDGED THEIR REVIEW AND APPROVAL OF THE LOCATION AND ELEVATION OF ALL IMPROVEMENTS SHOWN.
- THESE PLANS ARE NOT VALID UNLESS SIGNED AND SEALED BY THE LICENSED PROFESSIONAL ENGINEER SHOWN HEREON.
- OWNER/APPLICANT/BUILDER/CONTRACTOR TO NOTIFY DESIGN ENGINEER IF ANY PLAN INCONSISTENCIES EXIST.
- CUT SHEETS FOR CURBING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW PRIOR TO INSTALLING CURBING.
- AN AS-BUILT PLAN CERTIFIED BY A PROFESSIONAL LAND SURVEYOR SHALL BE SUPPLIED AT THE COMPLETION OF CONSTRUCTION.
- A NEW JERSEY PROFESSIONAL ENGINEER SHALL CERTIFY THE CONSTRUCTED IMPROVEMENTS ARE BUILT IN ACCORDANCE WITH THE APPROVED PLANS.

NO.	DATE	REVISION
1	5/20/2021	PER TWP COMPLETENESS REVIEW
DRAWN BY: SCALE: FIELD BOOK:		
AMH AS NOTED		
CHKD BY: FILE:		
PWF		41048/DWG/BASEMAPS/BASEMAPS-8-2020

PAUL W. FERRIERO  
 N.J. PROFESSIONAL ENGINEER  
 NO. GE32978

**Ferriero Engineering, Inc.**  
 180 MAIN STREET P.O. BOX 571  
 CHESTER, NEW JERSEY 07930  
 908-879-6209  
 CERTIFICATE OF AUTHORIZATION 24CA27935400

**SANITARY & STORM SEWER PROFILES**  
**DUNKIN!**  
 LOT 64 BLOCK 28005  
 MONTGOMERY TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

SHEET  
 5 OF 13  
 DATE: 2/25/2021 PROJECT NO:  
 REVISION: 141046

**SOMERSET - UNION SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. (i.e. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
3. PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED.
4. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUAL, AT A 2 TON/ACRE RATE, ACCORDING TO THE STATE STANDARDS.
5. TEMPORARY BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS IN ACCORDANCE WITH SECTION 4.21 OF THE STATE STANDARDS.
6. PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT VEGETATIVE COVER. SPECIFIED RATES AND LOCATIONS SHALL BE AS ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED REGULARLY.
9. STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOOD PLAIN, SLOPE DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE.
10. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED.
11. ALL NEW ROADWAYS WILL BE TREATED WITH A SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSHED STONE AND FILTER FABRIC. FILTER DETAILS APPEAR ON PLAN.
14. BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
15. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHALL BE COMPOSED OF SUITABLE SEDIMENT FILTER FABRIC. SEE DETAILS.
16. ALL SEDIMENTATION BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
17. DURING AND AFTER CONSTRUCTION, THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE SOIL CONSERVATION DISTRICT. SAID RESPONSIBILITY WILL PRELUDE WHEN COMPLETED WORK IS APPROVED BY THE SOIL CONSERVATION DISTRICT.
18. ALL TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES OR SEDIMENT BARRIERS. SEE STANDARDS.
19. THE SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.

- TOPSOIL STOCKPILE PROTECTION**
1. CONSTRUCT TEMPORARY DIVERSION BERM AND/OR HAY BALE BARRIER AROUND STOCKPILE AREA AS REQUIRED.
  2. APPLY LIMESTONE AT A RATE OF 90 lbs/1000 SF.
  3. APPLY FERTILIZER (10-10-10) AT A RATE OF 14 lbs/1000 SF.
  4. APPLY PERENNIAL RYEGRASS AT A RATE OF 1 lb/1000 SF.
  5. MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 lbs/1000 SF.

- TEMPORARY STABILIZATION SPECIFICATIONS**
1. APPLY GROUND LIMESTONE AT A RATE OF 90 lbs/1000 SF.
  2. APPLY FERTILIZER (10-10-10) AT A RATE OF 14 lbs/1000 SF AND WORK INTO SOIL 4" DEEP.
  3. APPLY SEED MIXTURE: PERENNIAL RYEGRASS AT 10 lbs/ACRE, KENTUCKY BLUEGRASS AT 25 lbs/ACRE, RED FESCUE AT 15 lbs/ACRE, AND SPREADING FESCUE AT 15 lbs/ACRE OR APPROVED.
  4. MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 lbs/1000 SF ACCORDING TO THE NEW JERSEY STANDARDS.
  5. ANCHOR MULCH WITH ORGANIC & VEGETABLE BASED OR SYNTHETIC BINDERS APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER. OTHER APPROVED METHODS (i.e. PEG AND TWINE, OR MULCH NETTING) MAY BE USED. IF POSSIBLE, PLANT BETWEEN MARCH 1 & MAY 15, OR BETWEEN AUGUST 15 & OCTOBER 1 IF POSSIBLE.

- PERMANENT STABILIZATION SPECIFICATIONS**
1. ALL TOPSOIL STRIPPED FROM THE SITE IS TO BE STOCKPILED AND REAPPLIED TO THE SUBJECT SITE UPON COMPLETION OF GRADING. NO TOPSOIL TO BE REMOVED FROM THE LOT.
  2. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO BE WORKED WITH WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES.
  3. APPLY GROUND LIMESTONE AT A RATE OF 90 lbs/1000 SF.
  4. APPLY FERTILIZER (10-10-10) AT A RATE OF 14 lbs/1000 SF.
  5. APPLY SEED MIXTURE: PERENNIAL RYEGRASS AT 10 lbs/ACRE, KENTUCKY BLUEGRASS AT 25 lbs/ACRE, RED FESCUE AT 15 lbs/ACRE, AND SPREADING FESCUE AT 15 lbs/ACRE OR APPROVED.
  6. MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 lbs/1000 SF ACCORDING TO THE NEW JERSEY STANDARDS.
  7. ANCHOR MULCH WITH ORGANIC & VEGETABLE BASED OR SYNTHETIC BINDERS APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER. OTHER APPROVED METHODS (i.e. PEG AND TWINE, OR MULCH NETTING) MAY BE USED. IF POSSIBLE, PLANT BETWEEN MARCH 1 & MAY 15, OR BETWEEN AUGUST 15 & OCTOBER 1.

**NOTE:** 72 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE OF SUCH IN WRITING SHALL BE GIVEN TO THE SOIL CONSERVATION DISTRICT AND THE WARREN TOWNSHIP ENGINEER.

- DUST CONTROL NOTES**
- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES - SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1).
  - VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (PG. 4-1), AND PERMANENT STABILIZATION WITH SOD (PG. 6-1).
  - SPRAY ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON			
POLYACRYLAMIDE (PAM) - DRY SPRAY			
ACIDULATION SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

- TILLAGE** - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING** - SITE IS SPRINKLED UNTIL SURFACE IS WET.
- BARRIERS** - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE** - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- STONE** - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

**SOIL DE-COMPACTION TESTING REQUIREMENTS**

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY IDENTIFIED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

- COMPACTION TESTING METHODS**
- A. PROBING WIRE TEST (SEE DETAIL)
  - B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
  - C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
  - D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

**NOTE:** ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

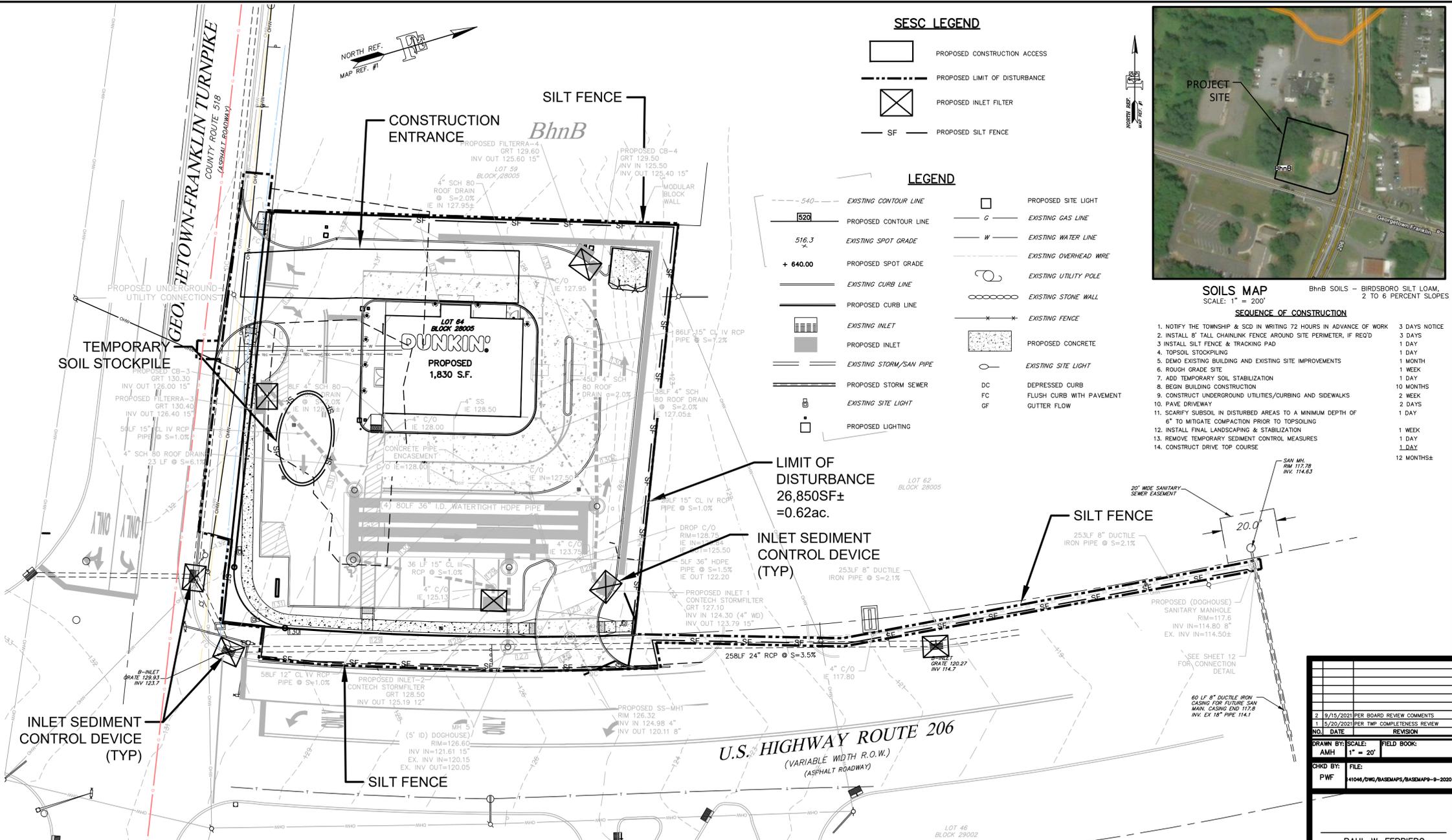
**SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.**

**PROCEDURES FOR SOIL COMPACTION MITIGATION**

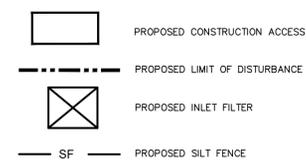
PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH), WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.), IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

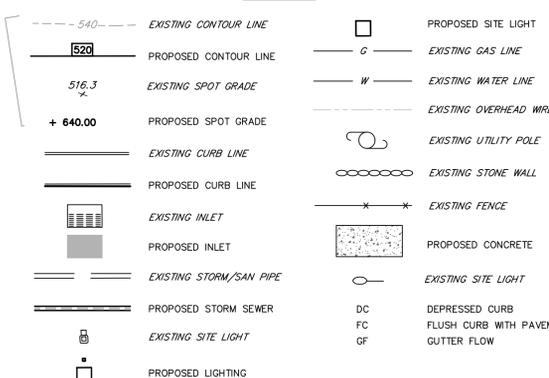
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**SESC LEGEND**



**LEGEND**

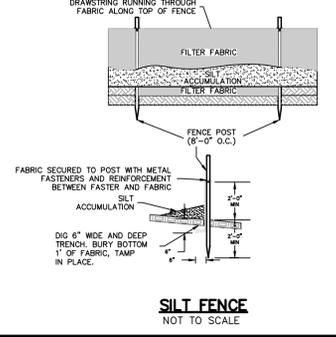
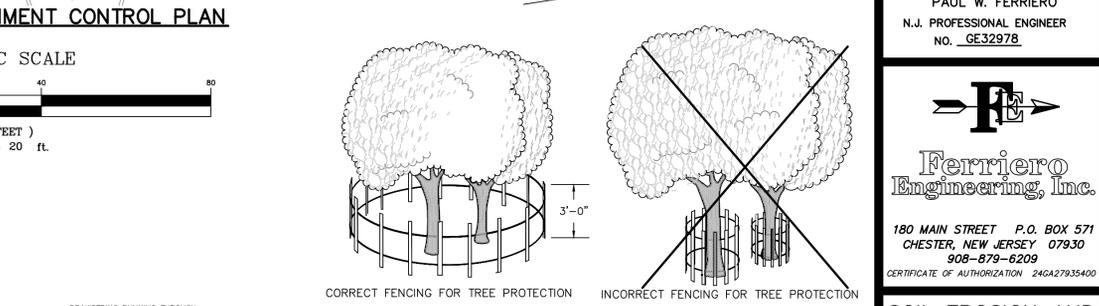
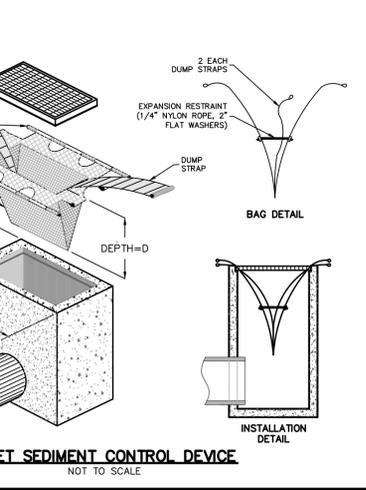
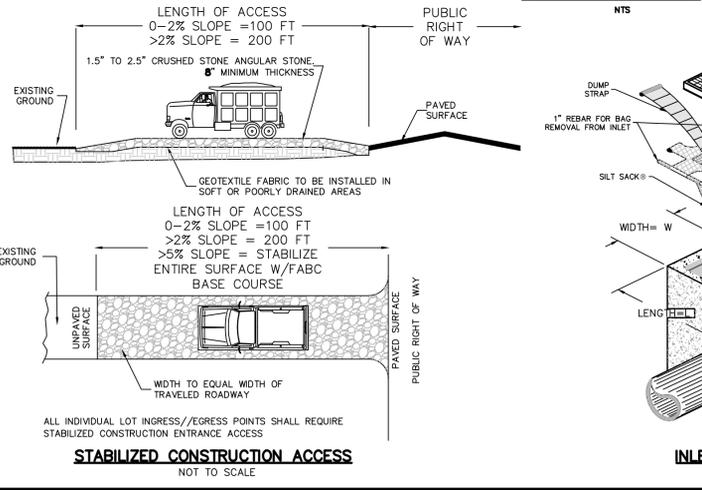
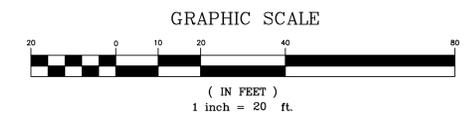


- SEQUENCE OF CONSTRUCTION**
- |  |            |
|--|------------|
| 1. NOTIFY THE TOWNSHIP & SCD IN WRITING 72 HOURS IN ADVANCE OF WORK  | 3 DAYS     |
| 2. INSTALL 8' TALL CHAINLINK FENCE AROUND SITE PERIMETER, IF REQ'D   | 3 DAYS     |
| 3. INSTALL SILT FENCE & TRACKING PAD   | 1 DAY      |
| 4. TOPSOIL STOCKPIILING  | 1 DAY      |
| 5. DEMO EXISTING BUILDING AND EXISTING SITE IMPROVEMENTS   | 1 MONTH    |
| 6. ROUGH GRADE SITE  | 1 WEEK     |
| 7. ADD TEMPORARY SOIL STABILIZATION  | 1 DAY      |
| 8. BEGIN BUILDING CONSTRUCTION   | 10 MONTHS  |
| 9. CONSTRUCT UNDERGROUND UTILITIES/CURBING AND SIDEWALKS   | 2 WEEK     |
| 10. PAVE DRIVEWAY  | 2 DAYS     |
| 11. SCARIFY SUBSOIL IN DISTURBED AREAS TO A MINIMUM DEPTH OF 6" TO MITIGATE COMPACTION PRIOR TO TOPSOILING | 1 DAY      |
| 12. INSTALL FINAL LANDSCAPING & STABILIZATION  | 1 WEEK     |
| 13. REMOVE TEMPORARY SEDIMENT CONTROL MEASURES   | 1 DAY      |
| 14. CONSTRUCT DRIVE TOP COURSE   | 12 MONTHS± |

**LIMIT OF DISTURBANCE**  
26,850SF±  
=0.62ac.

**INLET SEDIMENT CONTROL DEVICE (TYP)**

**SOIL EROSION & SEDIMENT CONTROL PLAN**



**NOTE:**

THE EXISTING UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL INFORMATION. THE CONTRACTOR SHALL CALL UNDERGROUND UTILITIES 1 (800) 272-1000 FOR MARKOUT PRIOR TO EXCAVATION. TEST PITS SHALL BE EXCAVATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS, AND SIZES. TEST PIT DATA SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED.

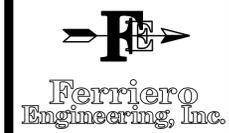
**NOTE:**

ALL CONSTRUCTION SHALL CONFORM TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

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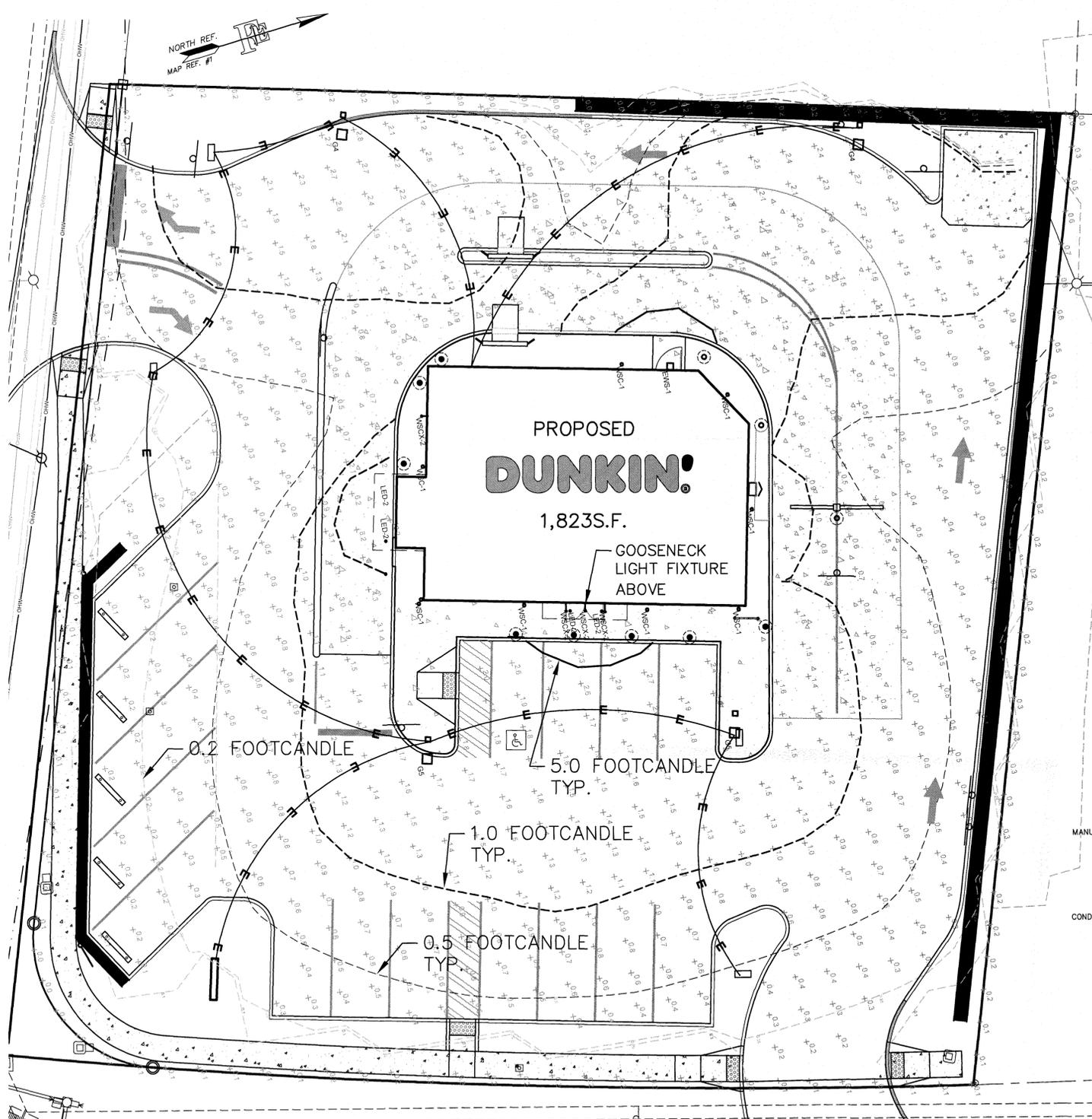
180 MAIN STREET P.O. BOX 571  
CHESTER, NEW JERSEY 07930  
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CERTIFICATE OF AUTHORIZATION 246A27935400

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

**DUNKIN'**

LOT 64 BLOCK 28005  
MONTGOMERY TOWNSHIP  
SOMERSET COUNTY  
NEW JERSEY





**PROPOSED DUNKIN'**  
1,823S.F.

GOOSENECK LIGHT FIXTURE ABOVE

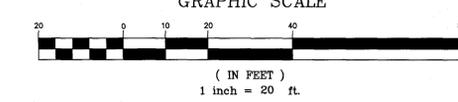
0.2 FOOTCANDLE

5.0 FOOTCANDLE TYP.

1.0 FOOTCANDLE TYP.

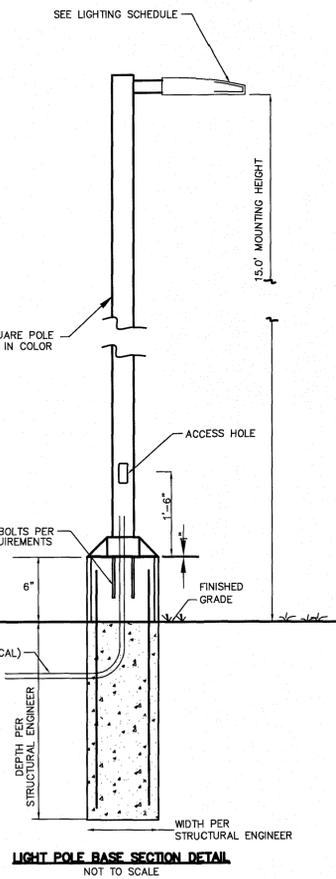
0.5 FOOTCANDLE TYP.

**LIGHTING PLAN**  
GRAPHIC SCALE



- IMPORTANT NOTES:**
- CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS AND ADDITIONS THERETO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S "OCCUPATIONAL SAFETY AND HEALTH STANDARDS" (OSHA); "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE STATE OF NEW JERSEY, DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING AND SAFETY; "CONSTRUCTION SAFETY CODE," AND "MAINTENANCE, CONSTRUCTION AND DEMOLITION," AND "BUILDING CODE."
  - ALL SOIL TESTING FOR STRUCTURAL COMPONENTS TO BE DONE BY OTHERS. THIS INCLUDES BUT IS NOT LIMITED TO STRUCTURAL STABILITY, WATER TABLE ELEVATION, FOOTING DESIGN, PRESENCE OR ABSENCE OF BURIED OR UNSUITABLE MATERIAL AND DEPTH TO ROCK. SITE DESIGN ENGINEER ACCEPTS NO LIABILITY FOR LOST TIME OR ADDITIONAL EXPENSE DUE TO CHANGES OCCURRING FROM AFORESAID CONDITIONS.
  - BUILDER/OWNER/CONTRACTOR OR AUTHORIZED REPRESENTATIVE TO APPROVE PROPOSED BUILDING ELEVATIONS AND LOCATION PRIOR TO ANY EXCAVATION. IF CHANGES ARE REQUESTED, THE SITE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY. THE SITE ENGINEER ACCEPTS NO LIABILITY FOR LOST TIME OR ADDITIONAL EXPENSE DUE TO ANY CHANGES OCCURRING FROM FIELD MODIFICATIONS.
  - THE OWNER, BY AUTHORIZING FERRERO ENGINEERING, INC. TO PERFORM CONSTRUCTION STAKE OUT OF ANY COMPONENT OF THE WORK HAS ACKNOWLEDGED THEIR REVIEW AND APPROVAL OF THE LOCATION AND ELEVATION OF ALL IMPROVEMENTS SHOWN.
  - THESE PLANS ARE NOT VALID UNLESS SIGNED AND SEALED BY THE LICENSED PROFESSIONAL ENGINEER SHOWN HEREON.
  - OWNER/APPLICANT/BUILDER/CONTRACTOR TO NOTIFY DESIGN ENGINEER IF ANY PLAN INCONSISTENCIES EXIST.
  - CUT SHEETS FOR CURBING SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW PRIOR TO INSTALLING CURBING.
  - AN AS-BUILT PLAN CERTIFIED BY A PROFESSIONAL LAND SURVEYOR SHALL BE SUPPLIED AT THE COMPLETION OF CONSTRUCTION.
  - A NEW JERSEY PROFESSIONAL ENGINEER SHALL CERTIFY THE CONSTRUCTED IMPROVEMENTS ARE BUILT IN ACCORDANCE WITH THE APPROVED PLANS.

- LIGHTING NOTES:**
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
  - THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED.
  - THE LUMINAIRE, LAMP AND LENSES SHALL BE REGULARLY INSPECTED/MAINTAINED TO INSURE THAT THEY FUNCTION PROPERLY. THIS WORK MAY INCLUDE, BUT IS NOT LIMITED TO, VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY).
  - THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT AND /OR LIGHTING CONTRACTOR AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS SHALL BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
  - ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
  - THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND GOVERNMENTAL REGULATIONS.
  - MOUNTING HEIGHT FOR FREESTANDING LIGHTS SHALL BE NO HIGHER THAN FIFTEEN (15) FEET.
  - OUTDOOR ILLUMINATION SHALL BE ON FROM DUSK TO DAWN UTILIZING PHOTOMETRIC CONTROLS BASED ON OPERATING HOURS.



**LIGHT POLE BASE SECTION DETAIL**  
NOT TO SCALE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description
□	G5	2	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-01-LED-E1-SWQ-800-7030	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 3000K, 800mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE V WIDE OPTICS
□	G4	2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-AF-01-LED-E1-SL4-800-HSS-7030	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 3000K, 800mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD
□	EWS	1	WAC Lighting	SHARK(12) A032714	
○	LED-2	4	DMF Lighting	DRD2M10930-DRD2TR4SWH	N/A
○	WSCX-2	4	HILLITE		H-GU10-119/18-1-119
○	WSC-1	8	PROGRESS	P5675	5" LED Cylinder 34W Direct/Indirect

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	1.1 fc	10.2 fc	0.1 fc	102.0:1	11.0:1
Property Line	+	0.2 fc	0.7 fc	0.0 fc	N/A	N/A

Luminaires & Lamps Furnished By Villa Lighting Inc. St Louis, MO. 63103 (800)325-0693 www.villalighting.com

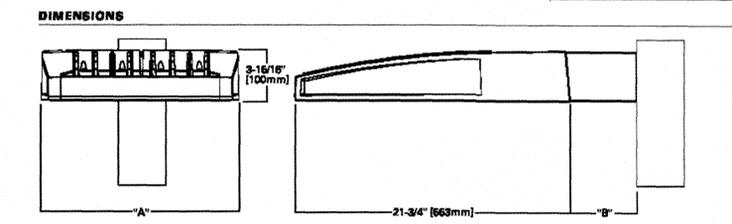
The electrical contractor shall be responsible for receiving, storage, installation and wiring of light fixtures.

The electrical contractor shall report any damaged light fixtures or missing parts to Villa Lighting within 48 hours of receipt of light fixture package.

Design is based on current information provided at the time of request. Any changes in mounting height, mounting location, lamp wattage, lamp type, and existing field conditions that effect any of the previously mentioned will void the current layout and require a change request and recalculation. Calculations are based upon a computer simulation and actual field calculations may vary.

Fixtures mounted on 15' pole  
Light level calculated on the ground

NOT UPDATED



Number of Light Sqaures	'A' Width	'B' Standard Arm Length	'B' Optional Arm Length †	Weight with Arm (lbs.)	EPA with Arm † (Sq. Ft.)
1-4	16-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (16.0 kgs.)	0.98
6-8	21-6/8" (548mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-6/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.6 kgs.)	1.07
9-10	33-3/4" (867mm)	7" (178mm)	16" (406mm)	63 (28.0 kgs.)	1.12

NOTE: †. Optional arm length to be used when mounting two fixtures at 90° on a single pole. ‡. EPA calculated with optional arm length.

MCGRAW-EDISON GLEON LIGHT

DUNKIN' - ROUTE 203 - MONTGOMERY, NJ

**LEGEND**

- 540 — EXISTING CONTOUR LINE
- 520 — PROPOSED CONTOUR LINE
- 516.3 — EXISTING SPOT GRADE
- + 640.00 — PROPOSED SPOT GRADE
- — EXISTING CURB LINE
- — PROPOSED CURB LINE
- — EXISTING INLET
- — PROPOSED INLET
- — EXISTING STORM/SAN PIPE
- — PROPOSED STORM SEWER
- — EXISTING SITE LIGHT
- — PROPOSED SITE LIGHT
- G — EXISTING GAS LINE
- W — EXISTING WATER LINE
- — EXISTING OVERHEAD WIRE
- — EXISTING UTILITY POLE
- — EXISTING STONE WALL
- — EXISTING FENCE
- — PROPOSED CONCRETE
- — EXISTING SITE LIGHT

NO.	DATE	REVISION
1	5/20/2021	PER TWP COMPLETENESS REVIEW

DRAWN BY: SCALE: FIELD BOOK  
AMH 1" = 20'

CHKD BY: FILE:  
PWF 41046/DWG/BASEMAPS/BASEMAP9-9-2020

*Paul W. Ferriero*  
PAUL W. FERRIERO  
N.J. PROFESSIONAL ENGINEER  
NO. GE32978

**Ferriero Engineering, Inc.**  
180 MAIN STREET P.O. BOX 571  
CHESTER, NEW JERSEY 07930  
908-879-6209  
CERTIFICATE OF AUTHORIZATION 240A27935400

**LIGHTING PLAN**

**DUNKIN'**

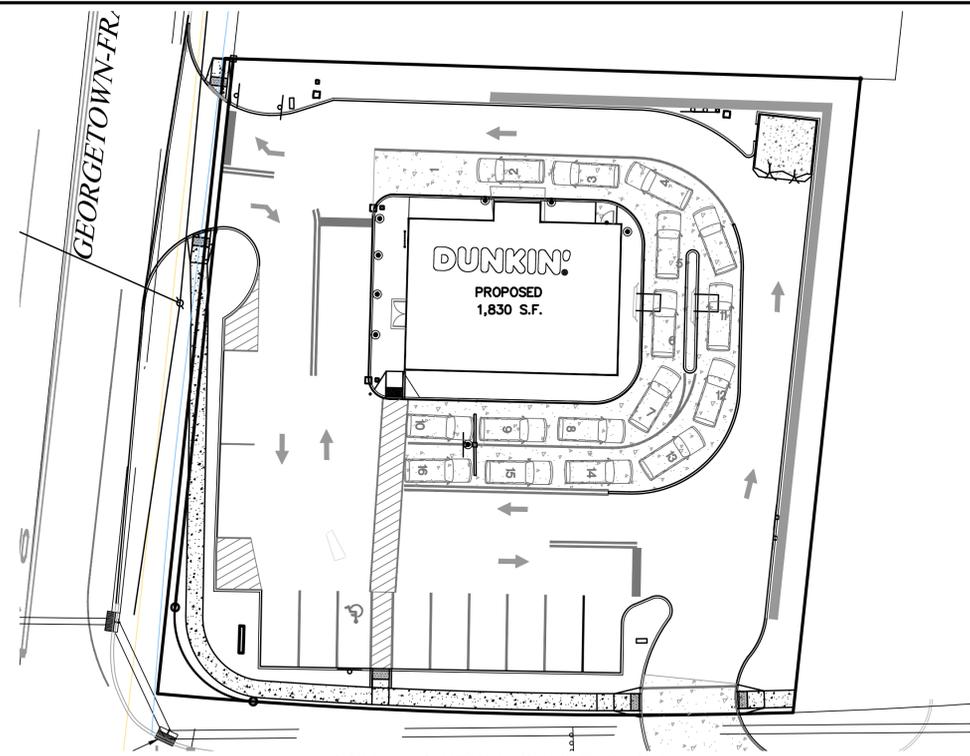
LOT 64 BLOCK 28005  
MONTGOMERY TOWNSHIP  
SOMERSET COUNTY  
NEW JERSEY

SHEET  
8 of 13

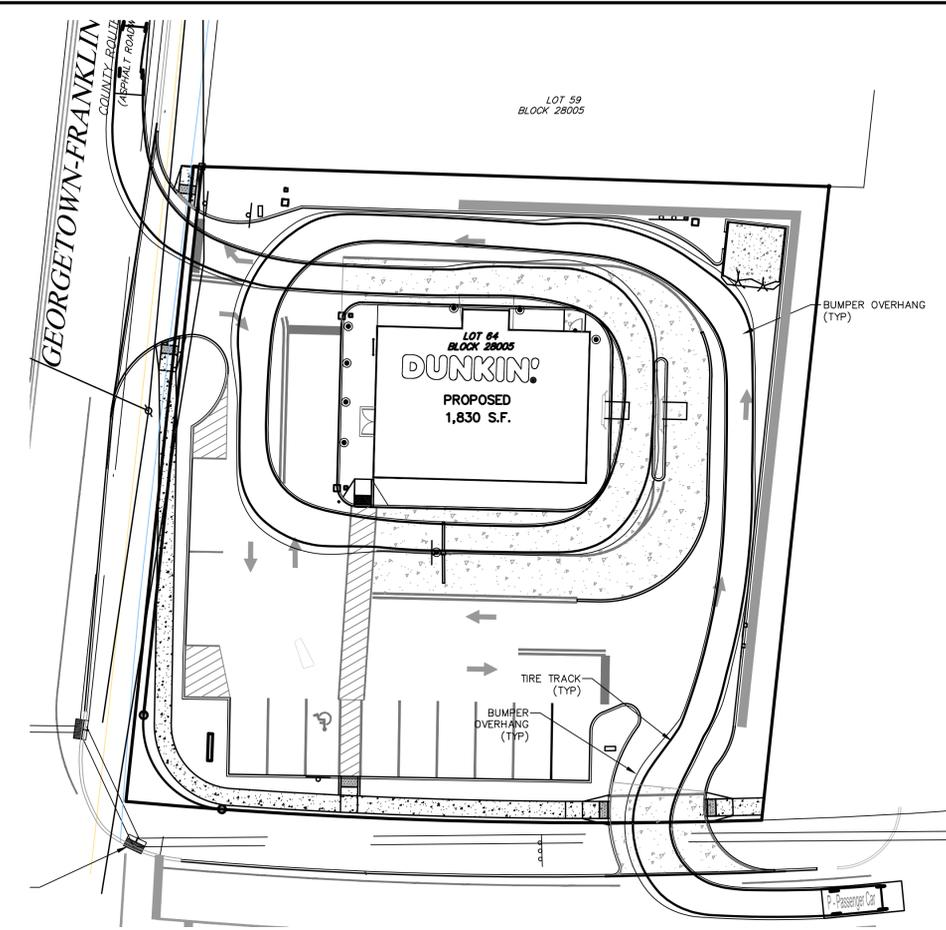
DATE: 2/25/2021 PROJECT NO:  
REVISION: 141046

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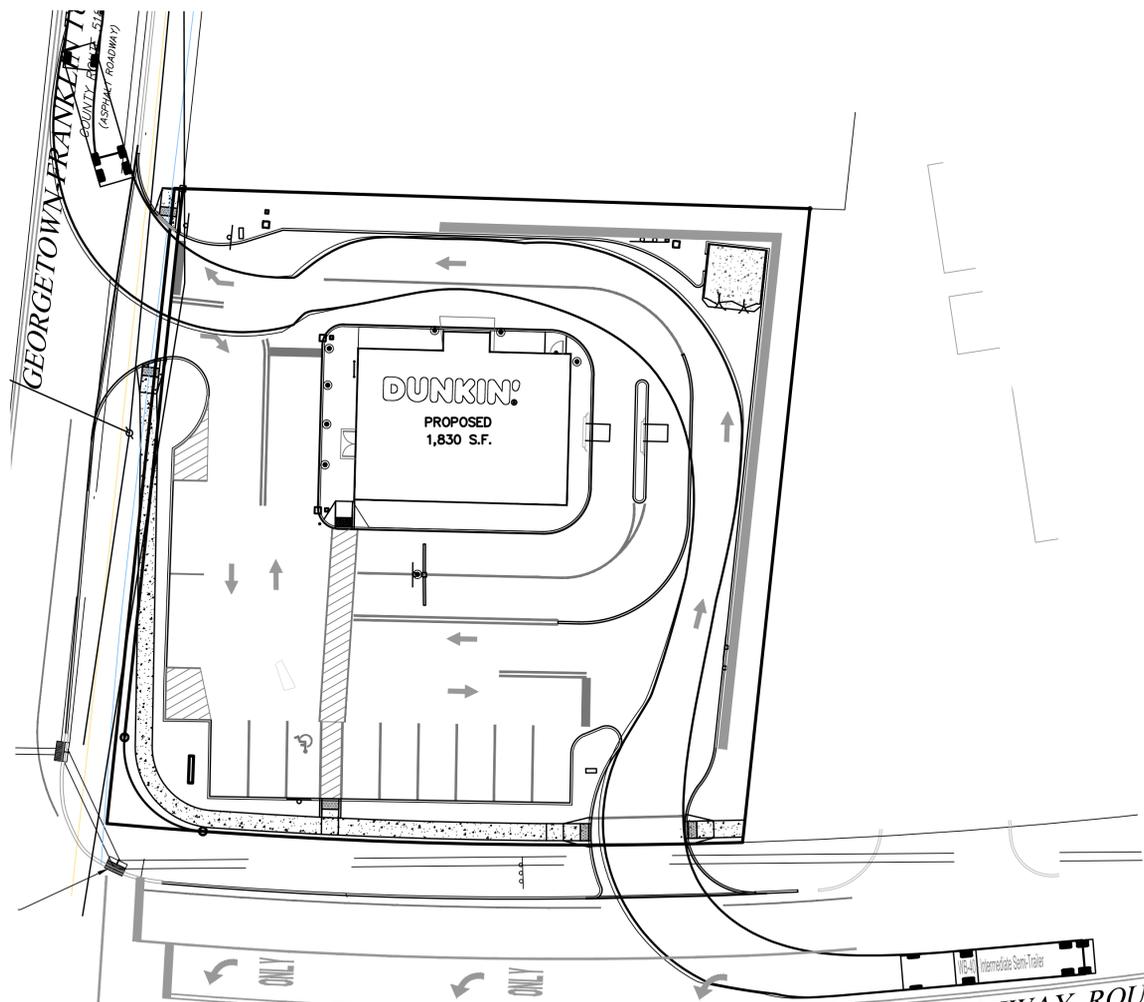




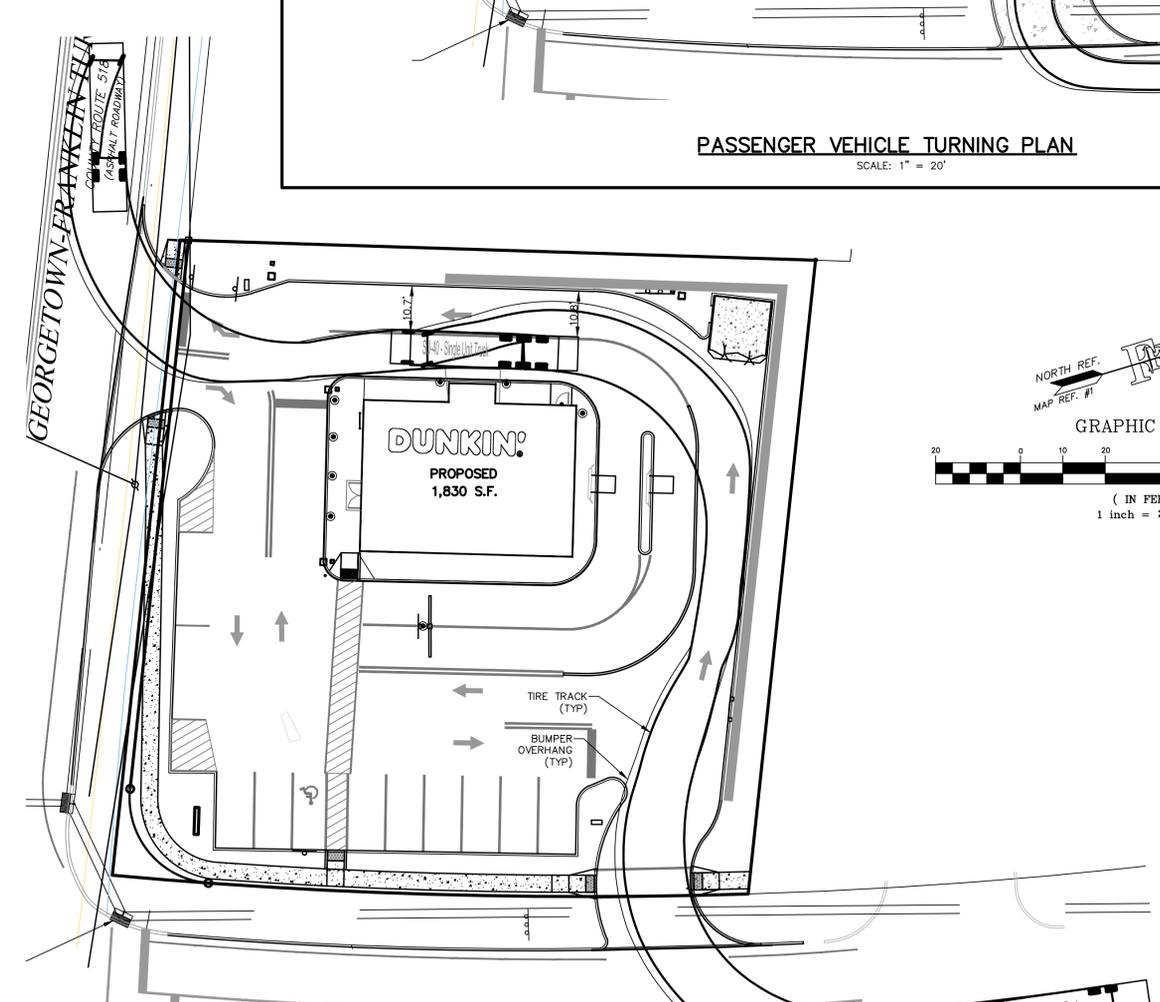
**DRIVE-UP WINDOW STACKING PLAN**  
SCALE: 1" = 20'



**PASSENGER VEHICLE TURNING PLAN**  
SCALE: 1" = 20'



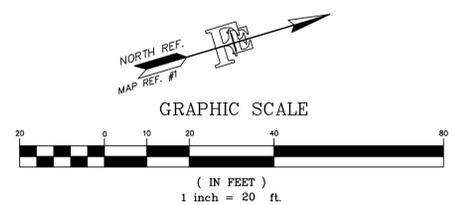
**WB-40 SEMI TRAILER TRUCK**  
SCALE: 1" = 20'



**SU-40 REFUSE COLLECTION TRUCK**  
SCALE: 1" = 20'

**LEGEND**

- 540 --- EXISTING CONTOUR LINE
- 520 PROPOSED CONTOUR LINE
- 516.3 EXISTING SPOT GRADE
- + 640.00 PROPOSED SPOT GRADE
- EXISTING CURB LINE
- PROPOSED CURB LINE
- EXISTING INLET
- PROPOSED INLET
- EXISTING STORM/SAN PIPE
- PROPOSED STORM SEWER
- EXISTING SITE LIGHT
- PROPOSED SITE LIGHT
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD WIRE
- EXISTING UTILITY POLE
- EXISTING STONE WALL
- EXISTING FENCE
- PROPOSED CONCRETE
- EXISTING SITE LIGHT



2	9/15/2021	PER BOARD REVIEW COMMENTS
1	5/20/2021	PER TMP COMPLETENESS REVIEW
NO.	DATE	REVISION
DRAWN BY: SCALE: FIELD BOOK:		
AMH 1" = 20'		
CHKD BY: FILE:		
PWF #1046/DWG/BASEMAPS/BASEMAPS-9-2020		

PAUL W. FERRIERO  
N.J. PROFESSIONAL ENGINEER  
NO. GE32978

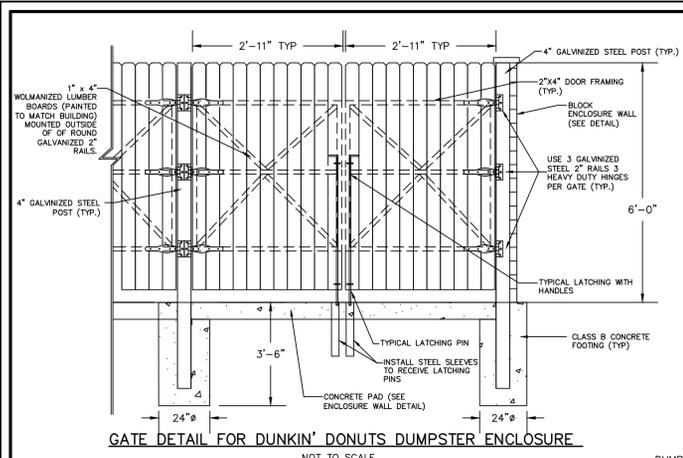
**Ferriero Engineering, Inc.**  
180 MAIN STREET P.O. BOX 571  
CHESTER, NEW JERSEY 07930  
908-879-6209  
CERTIFICATE OF AUTHORIZATION 24GA27935400

**CIRCULATION PLAN**

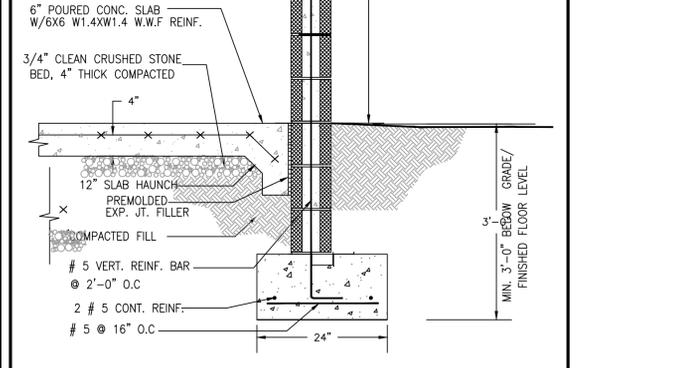
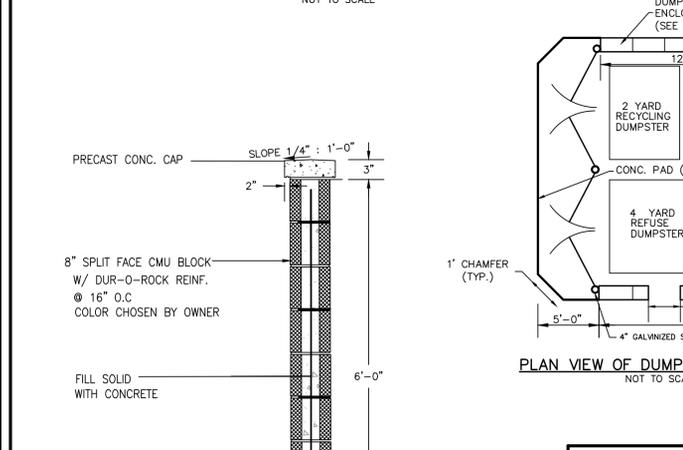
**DUNKIN'**  
LOT 64 BLOCK 28005  
MONTGOMERY TOWNSHIP  
SOMERSET COUNTY  
NEW JERSEY

SHEET	
10	OF 14
DATE: 2/25/2021	PROJECT NO:
REVISION:	141046

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

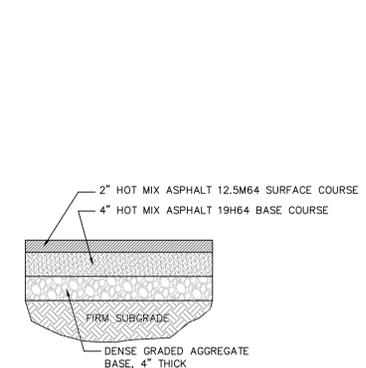
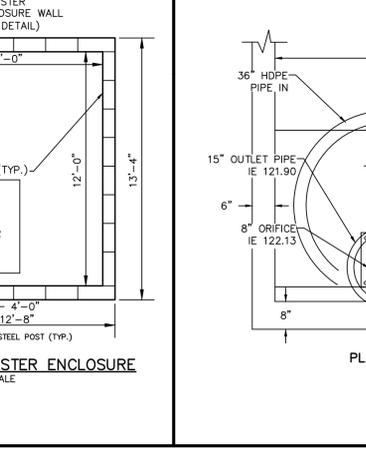
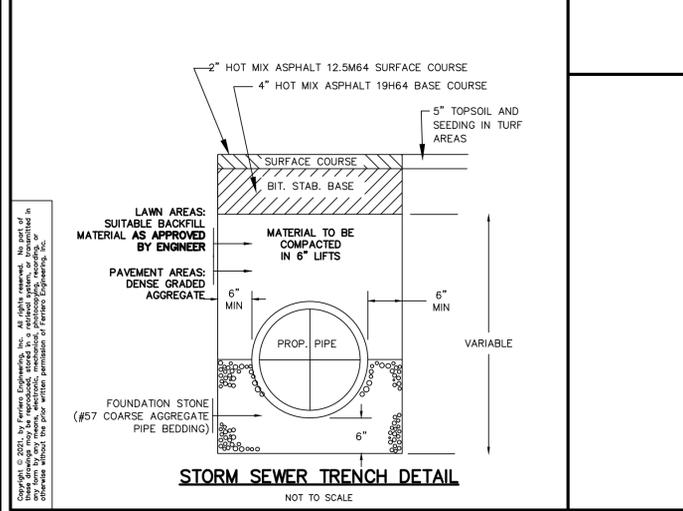


NOTES:  
 1. ALL POSTS, RAILS AND FITTINGS TO BE GALVANIZED  
 2. ALL WIRE, POSTS & FITTINGS SHALL BE HOT-DIP GALVANIZED STEEL  
 3. GATE TO BE CONSTRUCTED OF WOLMANIZED LUMBER. PAD TO BE 3,500 P.S.I. CONCRETE  
 4. SEPARATE DUMPSTERS SHALL BE CLEARLY MARKED REFUSE AND RECYCLING.  
 5. BLOCK TO BE PAINTED TO MATCH PROPOSED BUILDING COLOR AND SEALED.

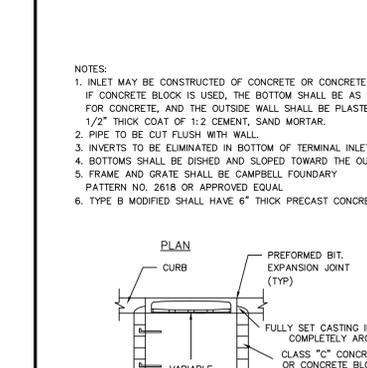
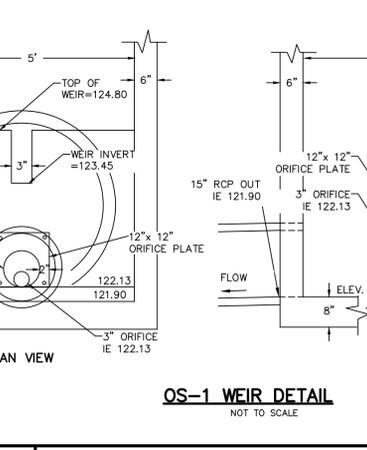
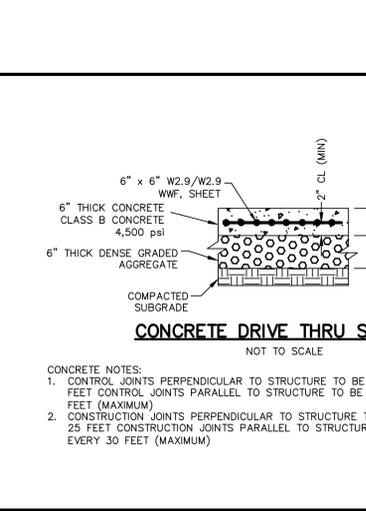


**DUMPSTER ENCLOSURE WALL SECTION DETAIL**  
 NOT TO SCALE

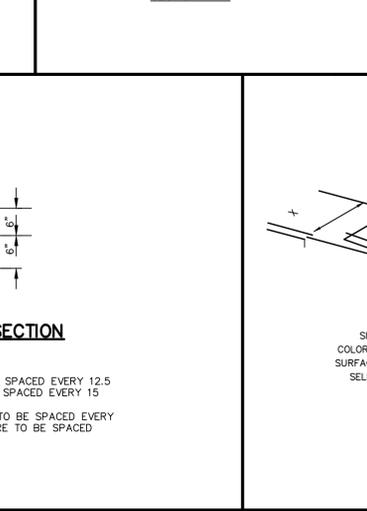
**DUMPSTER ENCLOSURE DETAILS**  
 NOT TO SCALE



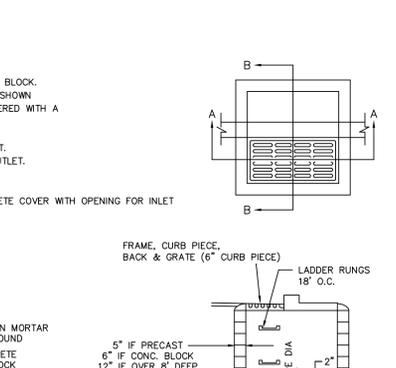
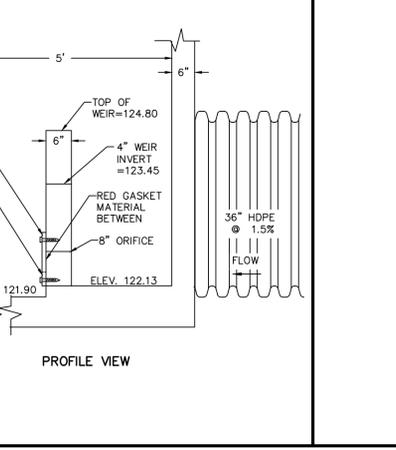
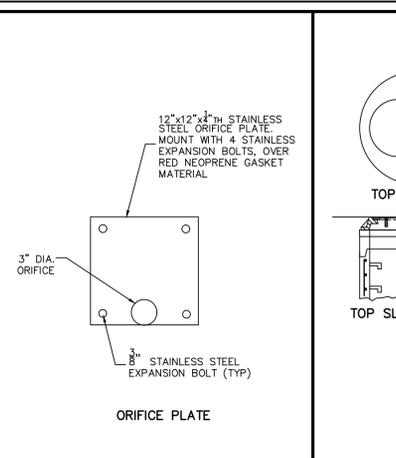
**PARKING AREA PAVEMENT SECTION**  
 NOT TO SCALE



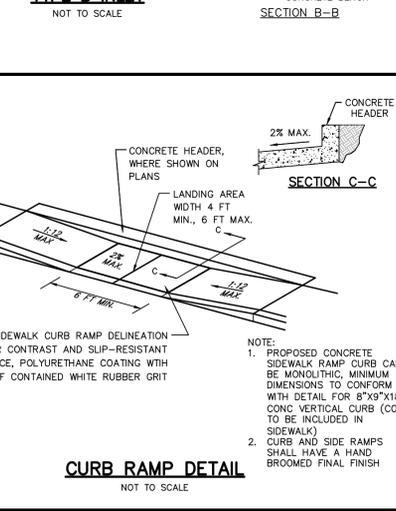
**TYPE B INLET**  
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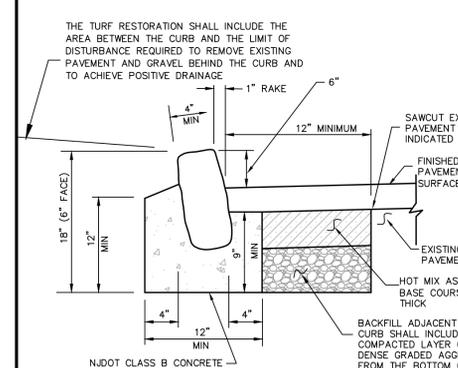
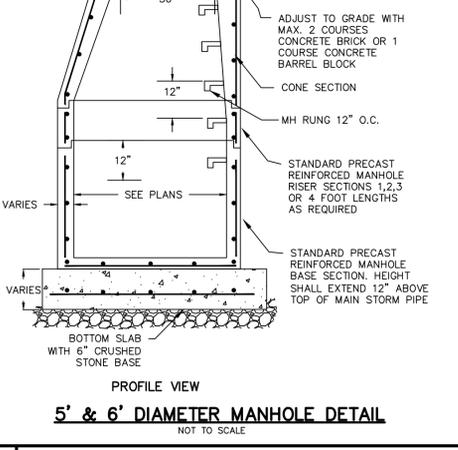
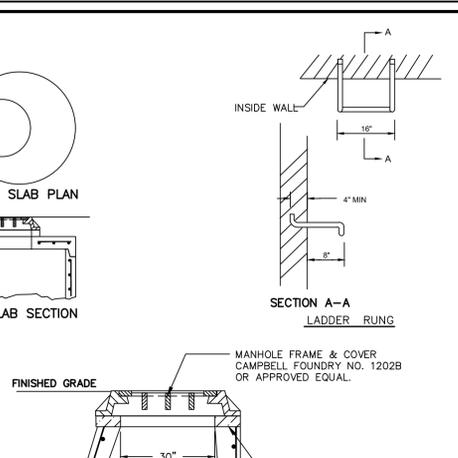
**CURB RAMP DETAIL**  
 NOT TO SCALE



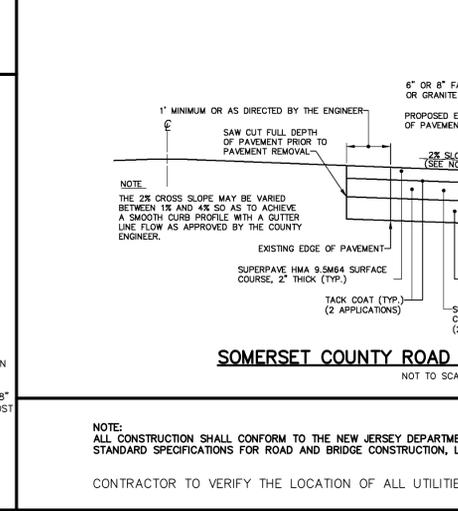
**PLAN VIEW**  
 NOT TO SCALE



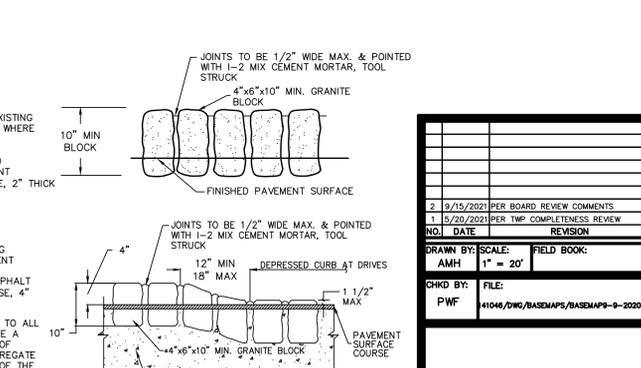
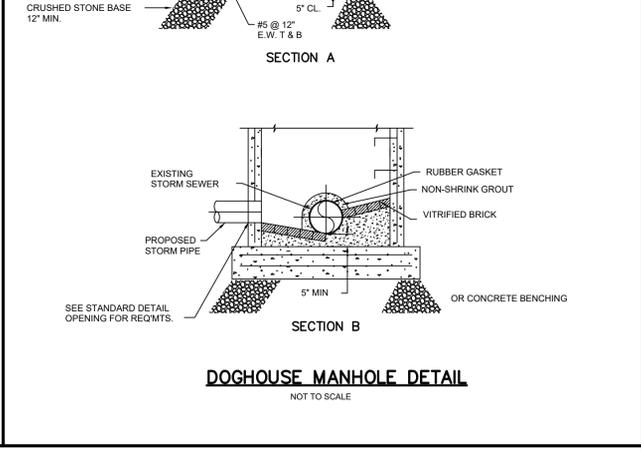
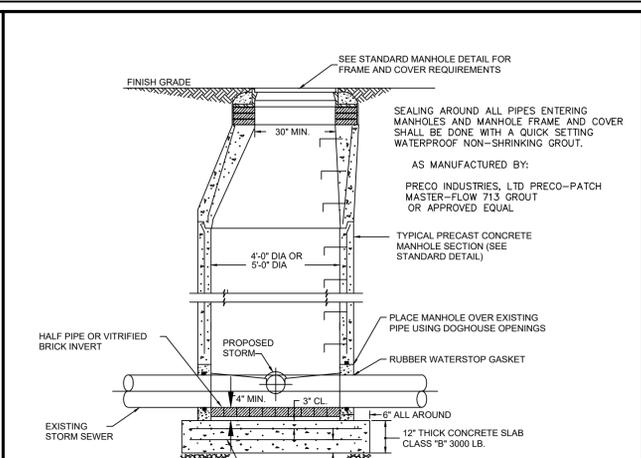
**PROFILE VIEW**  
 NOT TO SCALE



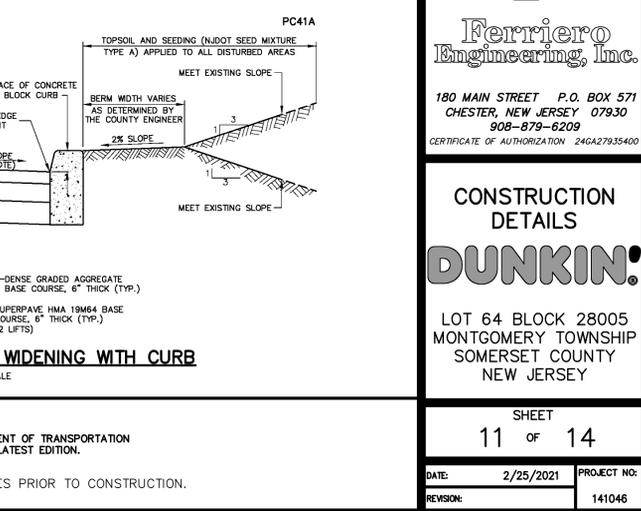
**SECTION A-A LADDER RUNG**  
 NOT TO SCALE



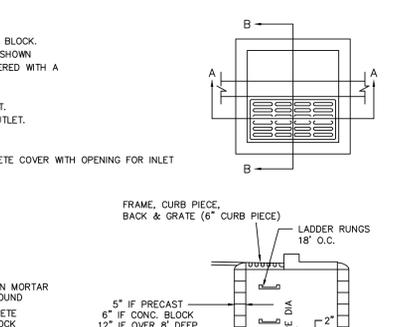
**5' & 6' DIAMETER MANHOLE DETAIL**  
 NOT TO SCALE



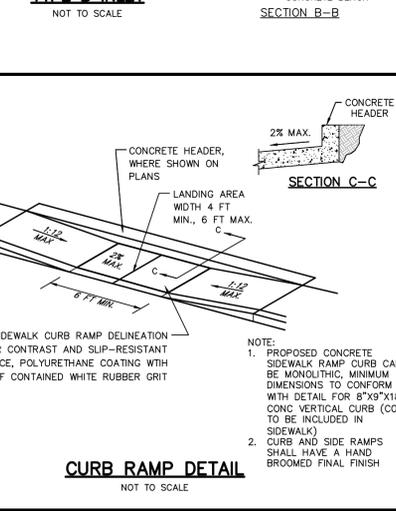
**SECTION B**  
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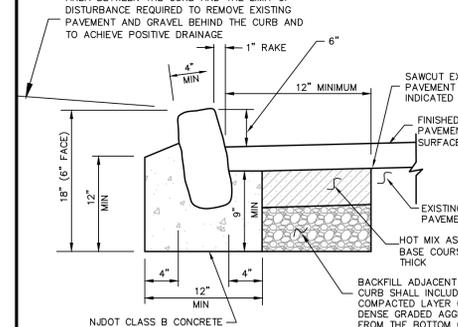
**DOGHOUSE MANHOLE DETAIL**  
 NOT TO SCALE



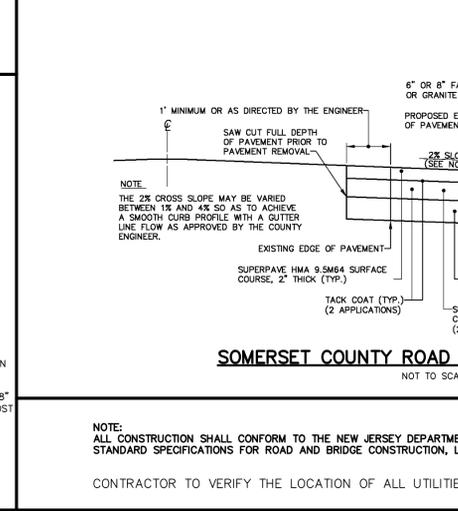
**SECTION A-A**  
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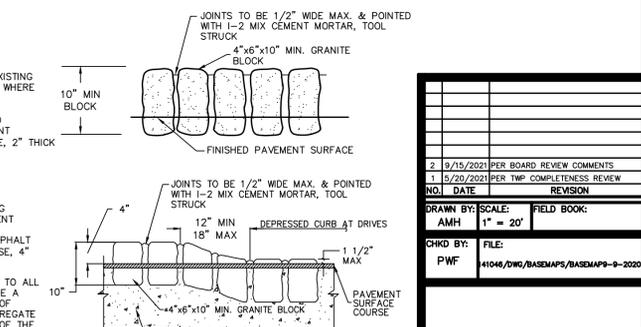
**SECTION B-B**  
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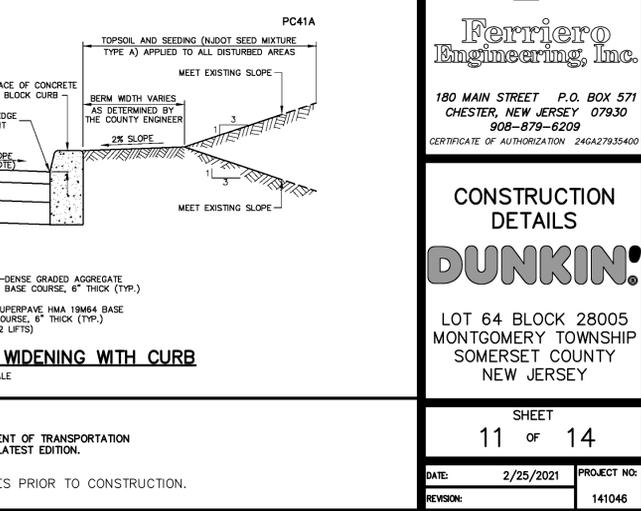
**VERTICAL CURB SECTION**  
 NOT TO SCALE



**GRANITE BLOCK CURB DETAILS**  
 NOT TO SCALE



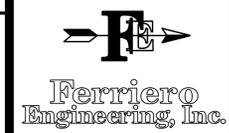
**PLACEMENT OF GRANITE BLOCKS**  
 NOT TO SCALE



**SOMERSET COUNTY ROAD WIDENING WITH CURB**  
 NOT TO SCALE

2/9/2021	PER BOARD REVIEW COMMENTS
1/5/2020	PER TWP COMPLETENESS REVIEW
NOI DATE	REVISION
DRAWN BY: SCALE: 1" = 20'	FIELD BOOK:
CHKD BY: FILE:	
PWF	#1046/060/BASEMAPS/BASMAP9-9-2020

PAUL W. FERRIERO  
 N.J. PROFESSIONAL ENGINEER  
 NO. GE32978

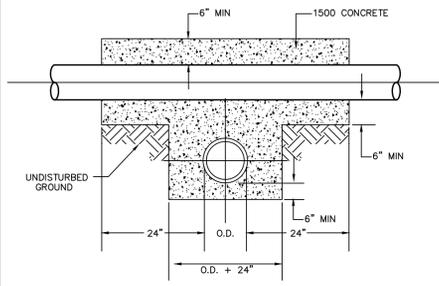


180 MAIN STREET P.O. BOX 571  
 CHESTER, NEW JERSEY 07930  
 908-879-6209

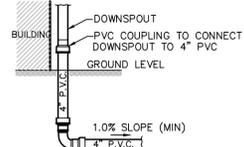
**CONSTRUCTION DETAILS**  
**DUNKIN'**  
 LOT 64 BLOCK 28005  
 MONTGOMERY TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

SHEET 11 OF 14  
 DATE: 2/25/2021 PROJECT NO: 141046  
 REVISION:

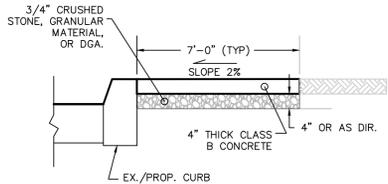
- NOTES:
- ENCASEMENT OF LOWER PIPE TO BE CARRIED IN 24" IN EACH DIRECTION BEYOND THE WALLS OF THE UPPER CONDUIT.
  - THE ENCASEMENT SHOWN SHALL BE REQUIRED WHERE THE CLEARANCE BETWEEN PIPES IS 12" OR LESS.
  - WATER PIPE SHALL BE PLACED ABOVE OTHER UTILITIES UNLESS OTHERWISE DIRECTED BY THE WATER UTILITY.



**UTILITY CROSSING**  
NOT TO SCALE

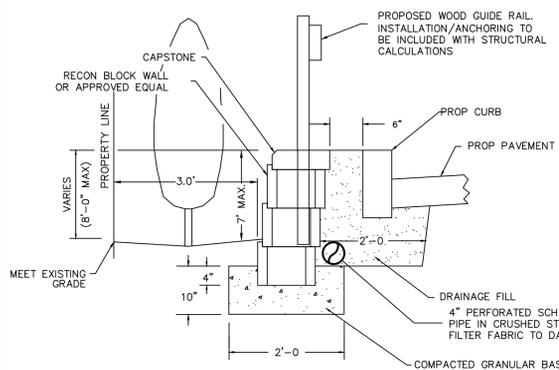


**DOWNSPOUT/LEADER CONNECTION**  
NOT TO SCALE

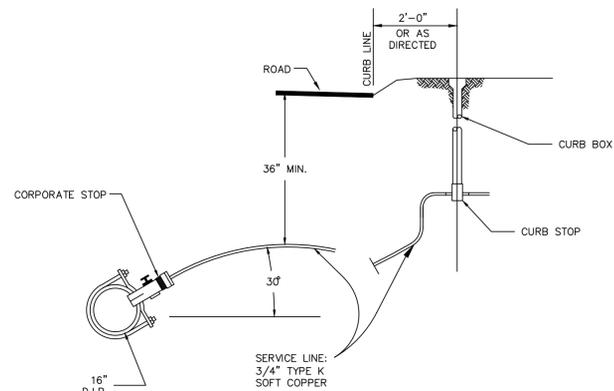


**CONCRETE SIDEWALK**  
NOT TO SCALE

NOTE: CALCULATIONS AND SEALED DRAWINGS TO BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION

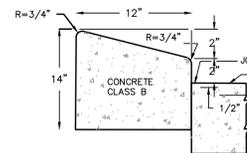


**ENGINEERED RETAINING WALL SECTION**  
NOT TO SCALE

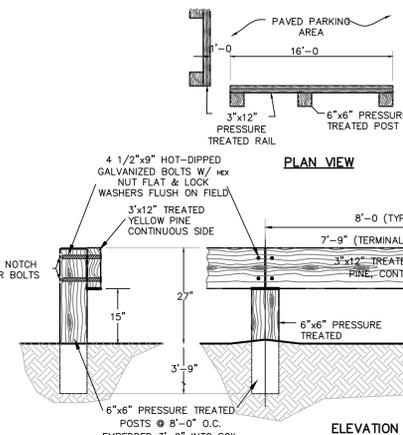


**WATER SERVICE CONNECTION**  
NOT TO SCALE

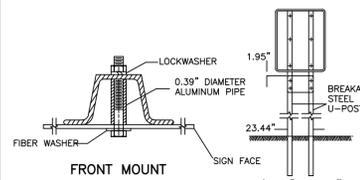
2" PREFORMED BITUMINOUS JOINT FILLER  
DEPTH OF FILLER STRIP EQUALS PAVEMENT THICKNESS  
LESS 3" TO BE INSTALLED BETWEEN CURB AND CONCRETE PAVEMENT OR CONCRETE BASE COURSE.



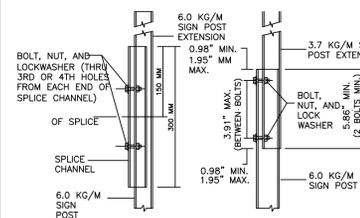
**12"x13" CONCRETE SLOPING CURB**  
NOT TO SCALE



**WOOD GUIDE RAIL**  
NOT TO SCALE

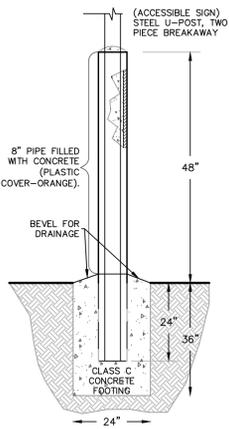


**FRONT MOUNT**

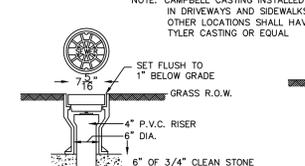


**SIGN POST EXTENSION  
SPlice DETAILS**  
NOT TO SCALE

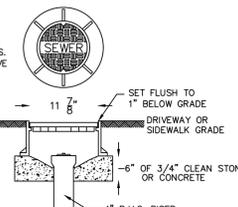
SIGN NOTES:  
ALL SIGN WORK—SIZE, COLOR, CONTENT, EMBEDMENT IN GROUND ETC. SHALL BE AS PER N.J.D.O.T. STANDARDS AND THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



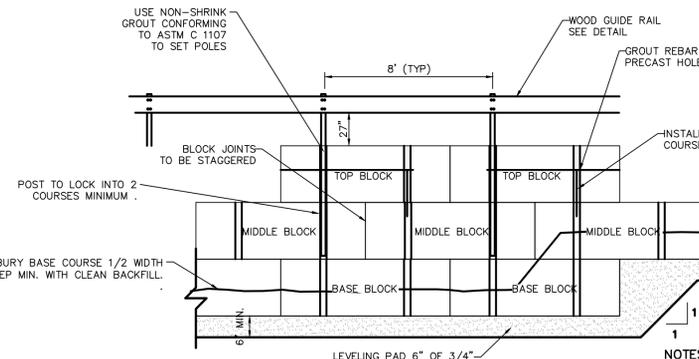
**BOLLARD DETAIL**  
NOT TO SCALE



**CLEANOUT DETAIL**  
NOT TO SCALE

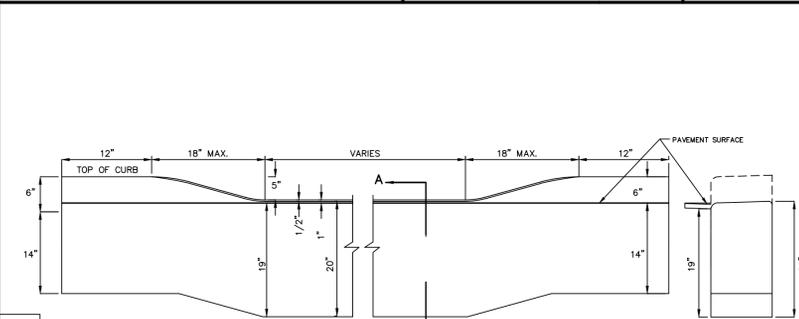


**SANITARY CONNECTION DETAIL**  
NOT TO SCALE

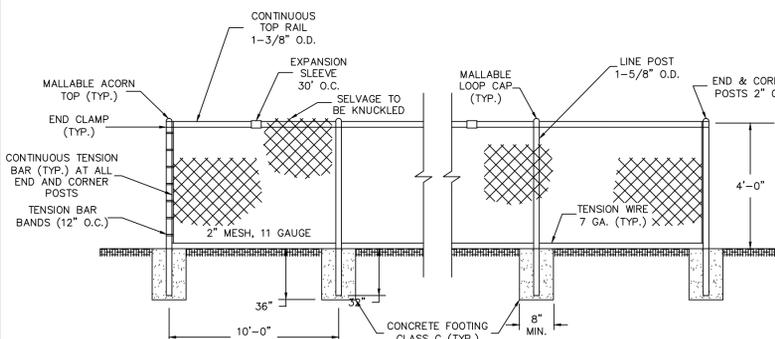


**WOOD GUIDE RAIL INSTALLATION DETAIL**  
NOT TO SCALE

- NOTES:
- BLOCK TO BE RECON GRAVITY RETAINING WALL BLOCK OR APPROVED EQUAL.
  - WHERE GUIDE RAIL TO BE INSTALLED, USE FENCE WALL BLOCK.
  - BLOCK TO BE TEXTURED.
  - BLOCK TO BE STAINED A COLOR TO MATCH THE PROPOSED BUILDING.
  - BLOCK TO BE SEALED AFTER STAINING.

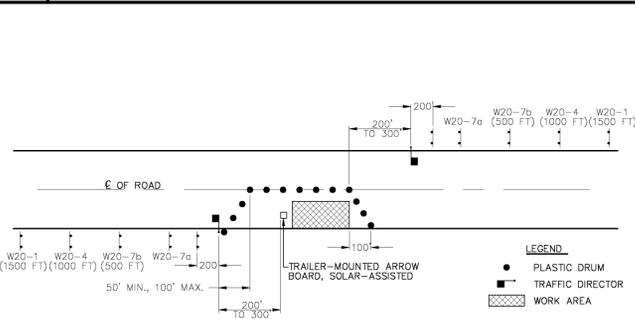


**DEPRESSED CONCRETE CURB (WITHIN COUNTY R.O.W.)**  
NOT TO SCALE



**CHAIN LINK FENCE, 4' HIGH**  
NOT TO SCALE

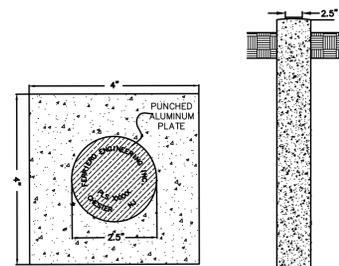
- NOTES:
- ALL POSTS, RAILS AND FITTINGS TO BE GALVANIZED AND POWDER COATED TO MATCH THE MESH COLOR.
  - MESH TO BE 1-3/4" OPENING, 9 GAUGE, GALVANIZED.
  - ALL MESH TO BE BLACK VINYL COATED.
  - THE WIRE TO BE 7 GA ALUM, 12" O.C.



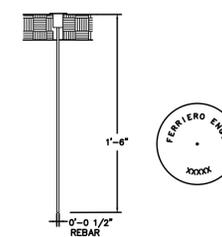
**TYPICAL ONE-LANE-CLOSURE OPERATION**  
N.T.S.

**TEMPORARY TRAFFIC PLAN**  
NOT TO SCALE

- NOTES:
- ALL SIGNS AND OTHER TRAFFIC CONTROL DEVICES ARE TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, WHEREIN THE SIGNS IN THIS FIGURE ARE IDENTIFIED.
  - FLASHING WARNING LIGHTS ARE NOT TO BE MOUNTED ON ANY SIGNS.
  - FOR DAYTIME OPERATIONS OF A SHORT DURATION, AND ON ROADS THAT ARE NOT MAJOR ARTERIES, THE W20-1 (AHEAD), W20-7a AND W20-7b SIGNS WILL SUFFICE FOR EACH APPROACH. THE TRAFFIC DIRECTOR AND ALL OTHER DEVICES REMAIN THE SAME.
  - DRUMS ARE TO BE PLACED AT 30' INTERVALS THROUGHOUT THE WORK ZONE.
  - TRAFFIC DIRECTORS SHALL USE STOP/SLOW PADDLES (R1-1) AND, WHERE SIGHT IS OBSTRUCTED, WALKIE-TALKIES.



**TYPICAL CONCRETE MONUMENT**  
NOT TO SCALE



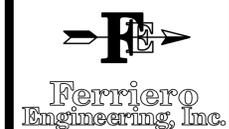
**TYPICAL CAPPED IRON PIN**  
NOT TO SCALE

NO.	DATE	REVISION
1	5/20/2021	PER TWP COMPLETENESS REVIEW
2	9/15/2021	PER BOARD REVIEW COMMENTS

DRAWN BY: SCALE: FIELD BOOK:  
AMH 1" = 20'

CHKD BY: FILE:  
PWF #1046/DWG/BASEMAPS/BASMAPS-9-2020

PAUL W. FERRIERO  
N.J. PROFESSIONAL ENGINEER  
NO. GE32978



180 MAIN STREET P.O. BOX 571  
CHESTER, NEW JERSEY 07930  
908-879-6209

CERTIFICATE OF AUTHORIZATION 24GA27935400

CONSTRUCTION  
DETAILS

**DUNKIN'**

LOT 64 BLOCK 28005  
MONTGOMERY TOWNSHIP  
SOMERSET COUNTY  
NEW JERSEY

SHEET  
12 OF 14

DATE: 2/25/2021 PROJECT NO:  
REVISION: 141046



